

GIS REGISTRY INFORMATION

SITE NAME:	SUMMIT VIEW ESTATES		
BRRTS # and FID #:	0352520042 252001310		
CLOSURE DATE:	06/11/2004		
STREET ADDRESS:	6521 Springhill Drive		
CITY:	Pleasant Prairie		
SOURCE PROPERTY GPS COORDINATES (meters in WTM91 projection):	X=	695076	Y= 254072

OFF-SOURCE CONTAMINATION (>ES): <small>(if there are more than 2 off-source properties, make a note and attach additional sheet(s))</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
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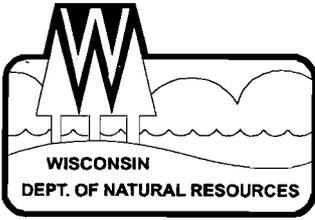
IF YES, STREET ADDRESS 1:	6517 Springhill Drive		
GPS COORDINATES (meters in WTM91 projection):	X=	695088	Y= 254098

IF YES, STREET ADDRESS 2:			
GPS COORDINATES (meters in WTM91 projection):	X=	Y=	

CONTAMINATION IN RIGHT OF WAY:	<input type="checkbox"/> Yes	<input type="checkbox"/> No
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CONTAMINATED MEDIA: (Groundwater, Soil or Both?)	both
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DOCUMENTS NEEDED:	
Closure Letter, and any conditional closure letter issued	x
Copy of most recent deed, including legal description, for all affected properties	x
Certified survey map or relevant portion of the recorded plat map <i>(if referenced in the legal description)</i> for all affected properties	x
County Parcel ID number, <i>if used for county</i> , for all affected properties	
Location Map which outlines all properties within contaminated site boundaries in sufficient detail to permit the parcels to be located easily (8.5x14" if paper copy)	x
Detailed Site Map(s) for all affected properties, showing buildings, roads, property boundaries, contaminant sources, utility lines, monitoring wells and potable wells. (8.5x14", if paper copy)	x
Tables of Latest Groundwater Analytical Results (no shading or cross-hatching)	x
Isoconcentration map(s), <i>if available from site investigation (SI)</i> (8.5x14" if paper copy). The isoconcentration map should have flow direction and extent of contamination defined. If not available, include the following 2 types of maps:	x
Latest groundwater flow/monitoring well location map	x
Latest extent of contaminant plume map	x
Geologic cross-sections, <i>if available from SI</i> . (8.5x14' if paper copy)	x
RP certified statement that legal descriptions are complete and accurate	x
Copies of off-source notification letters (if applicable)	x
Letter informing ROW owner of residual contamination (if applicable)	
Copy of (soil or land use) deed restriction(s) or deed notice <i>if any required as a condition of closure.</i>	



State of Wisconsin \ DEPARTMENT OF NATURAL RESOURCES

James Doyle, Governor
Scott Hassett, Secretary
Gloria L. McCutcheon, Regional Director

Southeast Region
Sturtevant Service Center
9531 Rayne Road, Suite IV
Sturtevant, Wisconsin 53177
Telephone 262-884-2300
FAX 262-884-2307
TDD 262-884-2304

June 15, 2004

Mastercraft Builders
Mr. Jim Duerrwaechter
5008 Green Bay Road
Kenosha, WI 53144

Subject: Request for Site Closure for Summit View Estates, Lot 2, Outlot 2, Mount Pleasant, WI
BRRTS 03-52-520042, FID 252001310

Dear Mr. Duerrwaechter:

The department has discussed the February 2004 letter and the requested information with your consultant and after further review of the available information the site can be granted closure.

If any contaminated soils are ever removed or made accessible they will need to be managed accordingly under the administrative codes pertaining to solid wastes.

Based on the correspondence and data provided, it appears that your case meets the screening criteria of s. NR 746.07 or s. NR 746.08, Wis. Adm. Code, and the requirements of ch. NR 726, Wis. Adm. Code. The Department considers this case closed and no further investigation, remediation or other action is required at this time.

Your site will also be listed on the DNR Remediation and Redevelopment GIS Registry of Closed Remediation Sites. Information that was submitted with your closure request application will be included on the registry. To review the sites on the GIS Registry web page, visit <http://gomapout.dnr.state.wi.us/org/at/et/geo/gwur/index.htm> If your property is listed on the GIS Registry due to groundwater contamination exceeding ch. NR 140 standards at the time of closure, and you intend to construct or reconstruct a well, you will need Department approval. Department approval is required before construction or reconstruction of a well on a property listed on the GIS Registry, in accordance with s. NR 812.09(4)(w). To obtain approval, Form 3300-254 needs to be completed and submitted to the DNR Drinking and Groundwater program's regional water supply specialist. This form can be obtained on-line at the web address listed above.

If you have any questions regarding this letter please contact me at 262-884-2341.

Sincerely,

Shanna L Laube, P.G.

Hydrogeologist

Cc: Tom Pedersen, Dakota Intertek, Corp., 14000 Leetsbir Rd, Sturtevant, WI 53177



ENVIRONMENTAL INNOVATIONS, INC. (EI)

Consulting, Remediation and Industrial Services
14000 Leetsbir Road Sturtevant, WI 53177 262-886-4800, FAX 262-886-4442

November 3, 2003

Ms. Vicky Stovall
Remediation & Redevelopment Program
Wisconsin Department of Natural Resources
2300 N. Dr. Marthin Luther King Jr., Dr.
Milwaukee, WI 53212

RE: Site: Summit View Estates
BRRTS #02-52-269708 03-52-100000
Closure Documentation

Dear Ms. Stovall:

Enclosed, please find a check to cover the \$450 GIS registry fee, and associated documentation for the above referenced property. The legal description for Lot 2 and Lot 3 is attached as certified by the responsible party below. No deed is available for Outlot 2, however, it is shown on the attached Certified Survey Map.

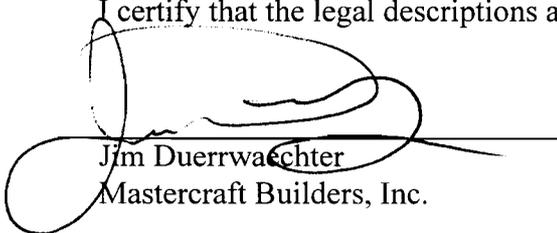
Note that the parcel identification number for Lot 2 is: 51-008-03-22-11-200020
and the geographic position coordinates (in WTM91 projection) are: 695076, 254072

Also note that the parcel identification number for Lot 3 is: 51-008-03-22-11-200030
and the geographic position coordinates (in WTM91 projection) are: 695088, 254098

Sincerely,
Environmental Innovations, Inc.

Thomas Pedersen, P.G., P.H.
Technical Manager

I certify that the legal descriptions attached to this statement are complete and accurate.


Jim Duerrwachter
Mastercraft Builders, Inc.

DOCUMENT #

1813469
Document Number

STATE BAR OF WISCONSIN FORM 1 - 2000

WARRANTY DEED

REGISTER'S OFFICE
RACINE COUNTY, WI

RECORDED _____

2002 JAN 28 PM 4:55

REGISTER OF DEEDS

VOL 3359
PAGE 793

This Deed, made between
DANIEL J. DUERRWAECHTER

Grantor,

and

ROBERT C. DARNELL AND DEBRA D. DARNELL

Grantee.

Grantor, for a valuable consideration, conveys to Grantee the following described real estate in RACINE County, State of Wisconsin (the "Property") (if more space is needed, please attach addendum):
LOT 2, SUMMIT VIEW ESTATES, ACCORDING TO THE RECORDED PLAT THEREOF. SAID LAND BEING IN THE TOWN OF MT. PLEASANT, RACINE COUNTY, WISCONSIN.

Recording Area

Name and Return Address

DARNELL
6521 SPRING HILL DRIVE
Racine, WI 53406

WISCONSIN
TRANSFER FEE

\$ 498.30

51-008-03-22-11-200020

Parcel Identification Number (PIN)

This IS NOT homestead property.
(is) (is not)

Together with all appurtenant rights, title and interests.

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except Municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use restrictions and covenants, general taxes levied in the year of closing.

Dated this 18th day of January, 2002.

* Daniel J. Duerrwachter

AUTHENTICATION

Signature(s) _____

authenticated this _____ day of _____, _____

ACKNOWLEDGMENT

STATE OF WISCONSIN)

Kenosha County.)

Personally came before me this 18th day of January, 2002 the above named

Daniel J. Duerrwachter

to me known to be the person who executed the foregoing instrument and acknowledged the same.

* Deborah A. Leable

Notary Public, State of Wisconsin

My Commission is permanent. (If not, state expiration date: _____, 2002.)

TITLE: MEMBER STATE BAR OF WISCONSIN

(If not, _____ authorized by §706.06, Wis. Stats.)

THIS INSTRUMENT WAS DRAFTED BY

Deborah A. Leable

JJD Mastercraft Builders, Inc.

(Signatures may be authenticated or acknowledged. Both are not necessary.)

*Names of persons signing in any capacity must be typed or printed below their signature.

WARRANTY DEED

STATE BAR OF WISCONSIN

FORM No. 1-2000

MasterCraft Builders, Inc. 5008 GreenBay Road, Kenosha WI 53144

Phone: 4146541220

Fax: 4146541881

Debbie Leable

Produced with ZipForm™ by RE FormsNet, LLC 18025 Fifteen Mile Road, Clinton Township, Michigan 48035, (800) 383-9805

T4775590.ZFX

35186

DOCUMENT #

1777024

STATE BAR OF WISCONSIN FORM 1 - 1999

WARRANTY DEED

Document Number

REGISTER'S OFFICE
RACINE COUNTY, WI

RECORDED _____

2001 JUN 14 PM 4:35

MARK A. LADD
REGISTER OF DEEDS

VOL 3198
PAGE 817

This Deed, made between
JJD Mastercraft Builders, Inc.

Grantor,
and
Timothy A. Pie, Jr. and Corrie A. Pie

Grantee.

Grantor, for a valuable consideration, conveys to Grantee the following described real estate in Racine County, State of Wisconsin (the "Property") (if more space is needed, please attach addendum):
Lot 3, Summit View Estates, according to the recorded plat thereof. Said land being in the Town of Mt. Pleasant, Racine County, Wisconsin.

Recording Area

Name and Return Address

Pie
6517 Spring Hills Drive
Racine, WI

WI REAL ESTATE
TRANSFER FEE

\$ 493.50

51-008-03-22-11-200030

Parcel Identification Number (PIN)

This IS NOT homestead property.
(is) (is not)

Together with all appurtenant rights, title and interests.

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except MUNICIPAL AND ZONING ORDINANCES AND AGREEMENTS ENTERED UNDER THEM, RECORDED EASEMENTS FOR THE DISTRIBUTION OF UTILITY AND MUNICIPAL SERVICES, RECORDED BUILDING AND USE RESTRICTIONS AND COVENANTS, GENERAL TAXES LEVIED IN THE YEAR OF CLOSING.

Dated this 20 day of April, 2001.

JJD MASTERCRAFT BUILDERS, INC.

* James J. Duerrwachter, Pres.

AUTHENTICATION

Signature(s) _____

authenticated this _____ day of _____, _____

TITLE: MEMBER STATE BAR OF WISCONSIN

(If not, _____
authorized by §706.06, Wis. Stats.)

THIS INSTRUMENT WAS DRAFTED BY

JAMES J. DUERRWAECHTER, PRESIDENT

(Signatures may be authenticated or acknowledged. Both are not necessary.)

ACKNOWLEDGMENT

STATE OF WISCONSIN)

KENOSHA County.) ss.

Personally came before me this 20 day of April, 2001 the above named

James J. Duerrwachter, Pres.

to me known to be the person James J. Duerrwachter who executed the foregoing instrument and acknowledged the same.

* DEBORAH A. LADD

Notary Public, State of Wisconsin

My Commission is permanent. State expiration date: April 09, 2002.

WARRANTY DEED

STATE BAR OF WISCONSIN
FORM No. 1-1999

*Names of persons signing in any capacity must be typed or printed below their signature.

Produced with ZipForm™ by RE FormsNet, LLC 18025 Fifteen Mile Road, Clinton Township Michigan 48038, (800) 383-9805

MasterCraft Builders, Inc. 5008 GreenBay Road Kenosha WI 53144

Phone: 414-654-1220

Fax: 414-654-1881

01509047.LFD

33538

SUMMIT VIEW ESTATES

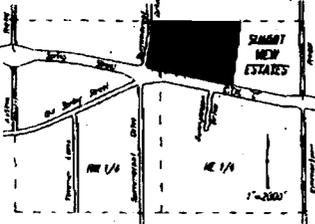
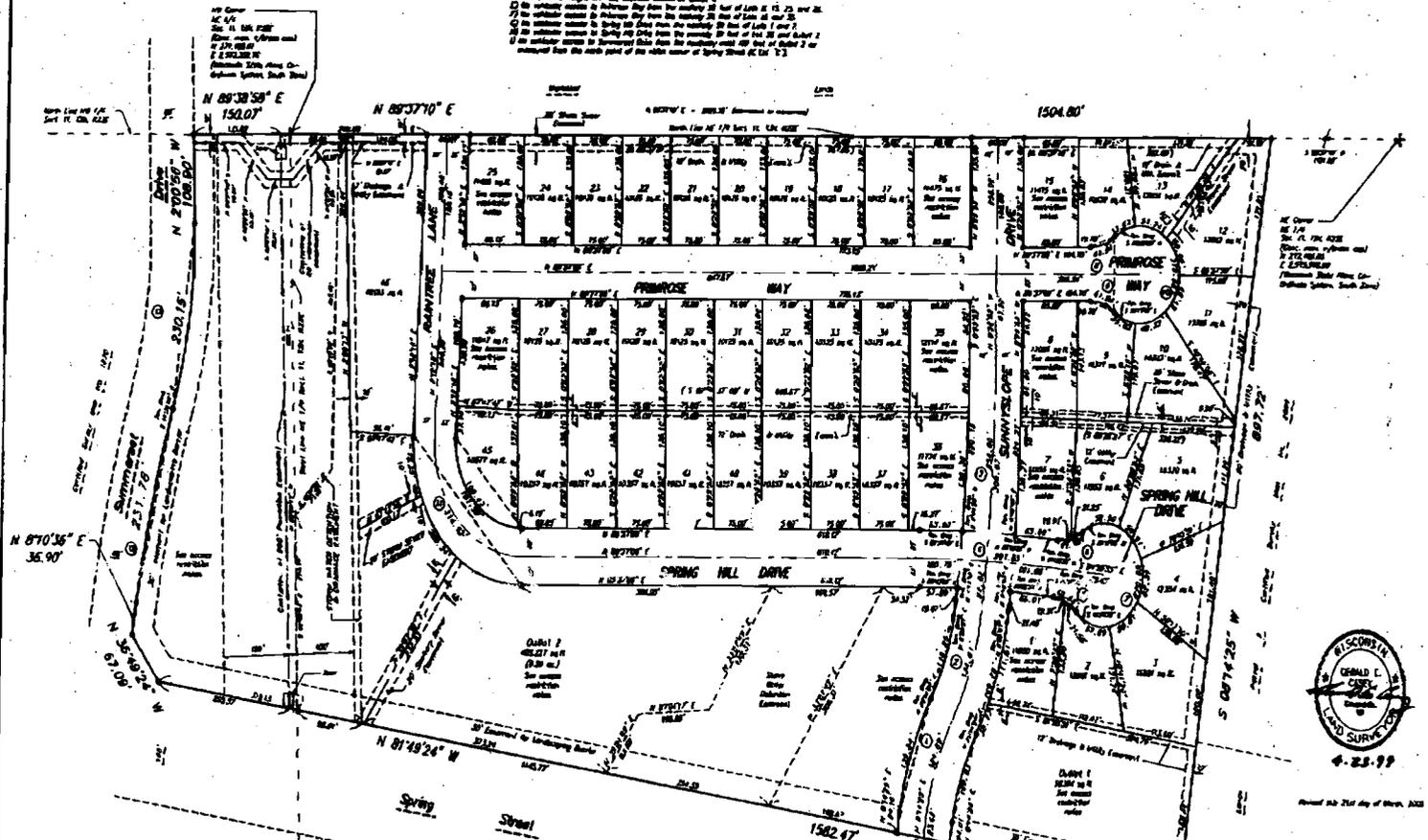
Being a subdivision of Parcel 1 of Official Survey Map No. 200, being a part of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 11, Township 2 North, Range 22 East, in the Town of Elk, Florence, Madison County, Wisconsin

There are no additions to this plan with respect to Secs. 234, 15, 234.66, 234.20 and 234.21 (1) and (2), Wis. Stat.

Recorded April 5, 2009

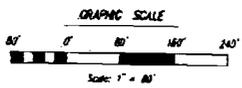
James A. Steiner
Department of Administration

- The following sections are reserved for:
- 1. All other.
 - 2. An additional section to be added to the lot of Lot 1 and 2.
 - 3. An additional section to be added to the lot of Lot 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
 - 4. An additional section to be added to the lot of Lot 1 and 2.
 - 5. An additional section to be added to the lot of Lot 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
 - 6. An additional section to be added to the lot of Lot 1 and 2.
 - 7. An additional section to be added to the lot of Lot 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
 - 8. An additional section to be added to the lot of Lot 1 and 2.
 - 9. An additional section to be added to the lot of Lot 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
 - 10. An additional section to be added to the lot of Lot 1 and 2.
 - 11. An additional section to be added to the lot of Lot 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.



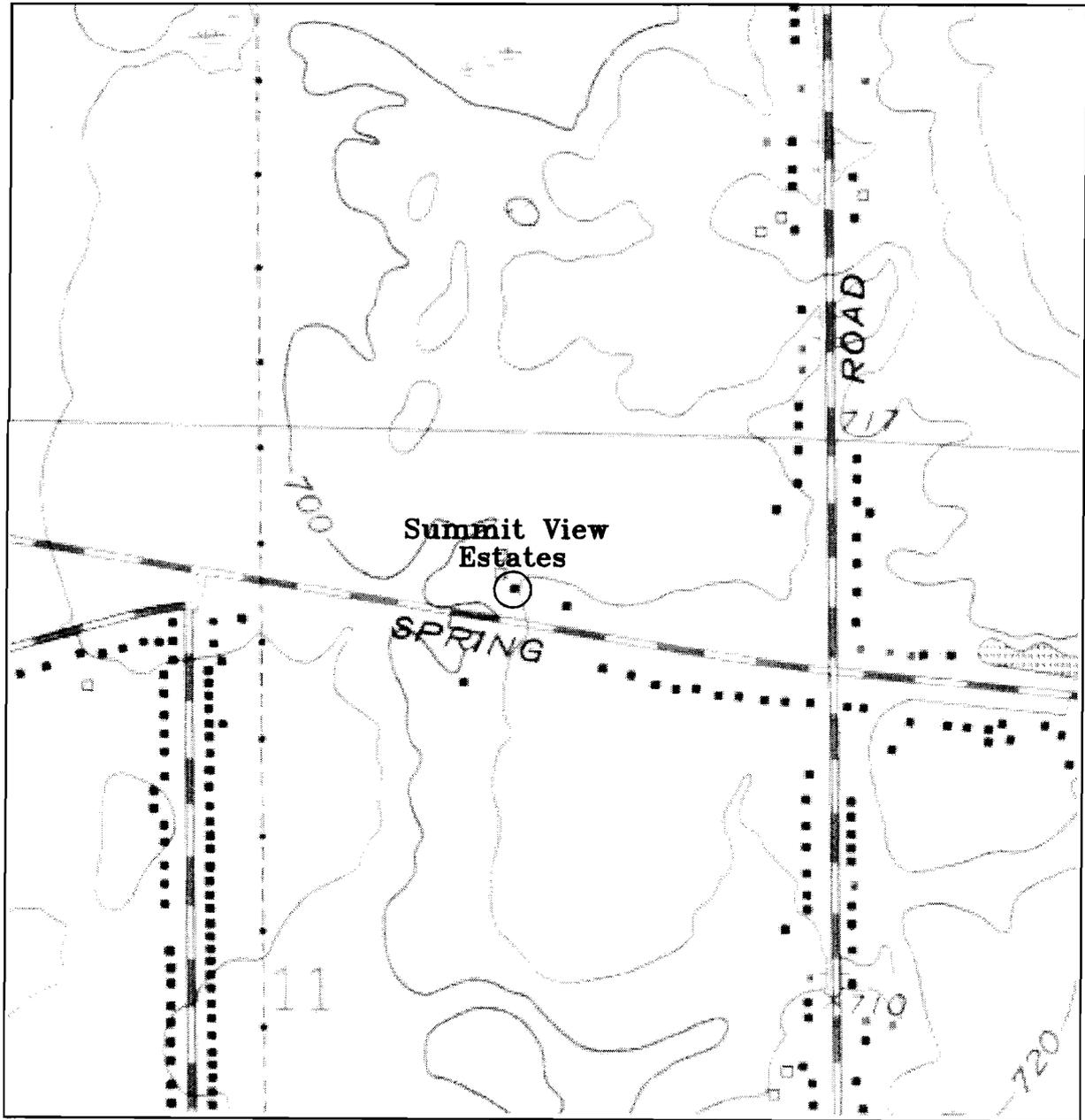
Notes:

- 1. - Distances 1-1/4" = 30' H.S. 10' center, 4.39 lbs. per sq. ft. R. 1.524" run pipe, 1.13 lbs. per sq. ft. of all other full and partial corners.
- 2. - All distances measured and computed to the nearest 0.01'
- 3. - All angles computed to the nearest 0.000005° and rounded to the nearest 0.00001°
- 4. - Distances all areas to the nearest square foot.



Scale: 1" = 80'

Sheet 1 of 4 Sheets



Based on: USGS Racine South, WI Quadrangle,
7.5 Minute Series
(Not to original scale)

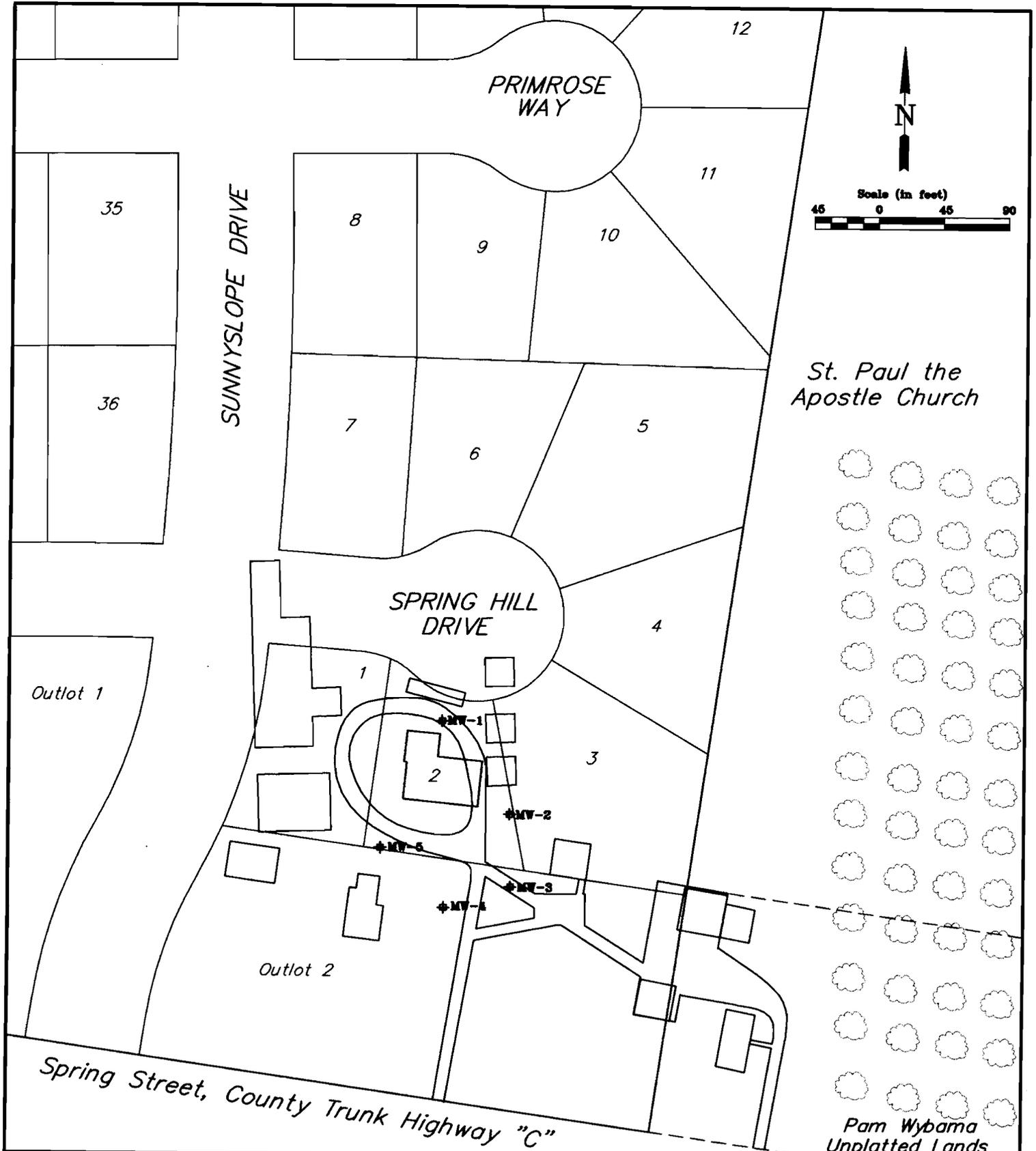
Regional Location Map

Mastercraft
Summit View Estates, Lot 2, Outlot 2
Mount Pleasant, WI

ENVIRONMENTAL INNOVATIONS, INC.

14000 Lactahir Road, Sturtevant, WI Phone: (262) 896-4800 Fax: (262) 896-4442

Figure 1



LEGEND

- 3 Lot Numbers
- Monitoring Well
- Current Structure
- Former Structure
- Orchard

SITE MAP

Mastercraft
 Summit Hill Estates, Lot 2, Outlot 2
 Mount Pleasant, WI

ENVIRONMENTAL INNOVATIONS, INC.

14000 Leestair Road, Sturtevant, WI Phone: (800) 806-4800 Fax: (800) 806-4442

Figure 2

Table 3

Groundwater Analytical Results

Mastercraft
Spring Hill Court
Mount Pleasant, Wisconsin

	ES	PAL	TW-1	TW-2	TW-3	TW-4	TW-6	TW-7		
			2/19/01	2/19/01	2/19/01	2/19/01	2/19/01	9/30/02	1/14/03	7/2/03
Top of Well Screen	--	--	--	--	--	--	--	--	--	--
Length of Well Screen (ft)	--	--	--	--	--	--	--	--	--	--
VOCs										
Gas Range Organics	NS	NS	<13	96	2950	18	<13	53200	39900	28900
Trimethylbenzenes (1,2,4 + 1,3,5)	480	96	<.63	11.5	427	526	1.8	1810	2356	2671
Benzene	5	0.5	1.1	0.75	101	210	<.44	11800	9840	1960
Ethylbenzene	700	140	<.57	2.5	108	125	<.57	2410	2540	1730
Methyl tert-butyl ether	60	12	<0.3	<0.3	<1.2	<3	<0.3	145	108	<20
Xylene	10000	1000	0.99	10.1	263	169	2.7	8670	9380	7490
Toluene	1000	200	0.51	3.3	79	144	<.44	14000	13000	5160
Naphthalene	40	8	<1.2	<1.2	8.4	35	<1.2	421	1010	413
PAHs										
1-Methylnaphthalene	NS	NS	NT	NT						
2-Methylnaphthalene	NS	NS	NT	NT						
Naphthalene	40	8	NT	NT						
Water Level	--	--	--	--	--	--	--	--	--	--

Notes:

Results and standards are reported in ug/l
 ES - WDNR NR 140 Enforcement Standards
 PAL - Preventive Action Limit
 NS - No Standard
 Green concentrations exceed PAL
 Red concentrations exceed ES
 All other VOC compounds analyzed were below laboratory detection limits.

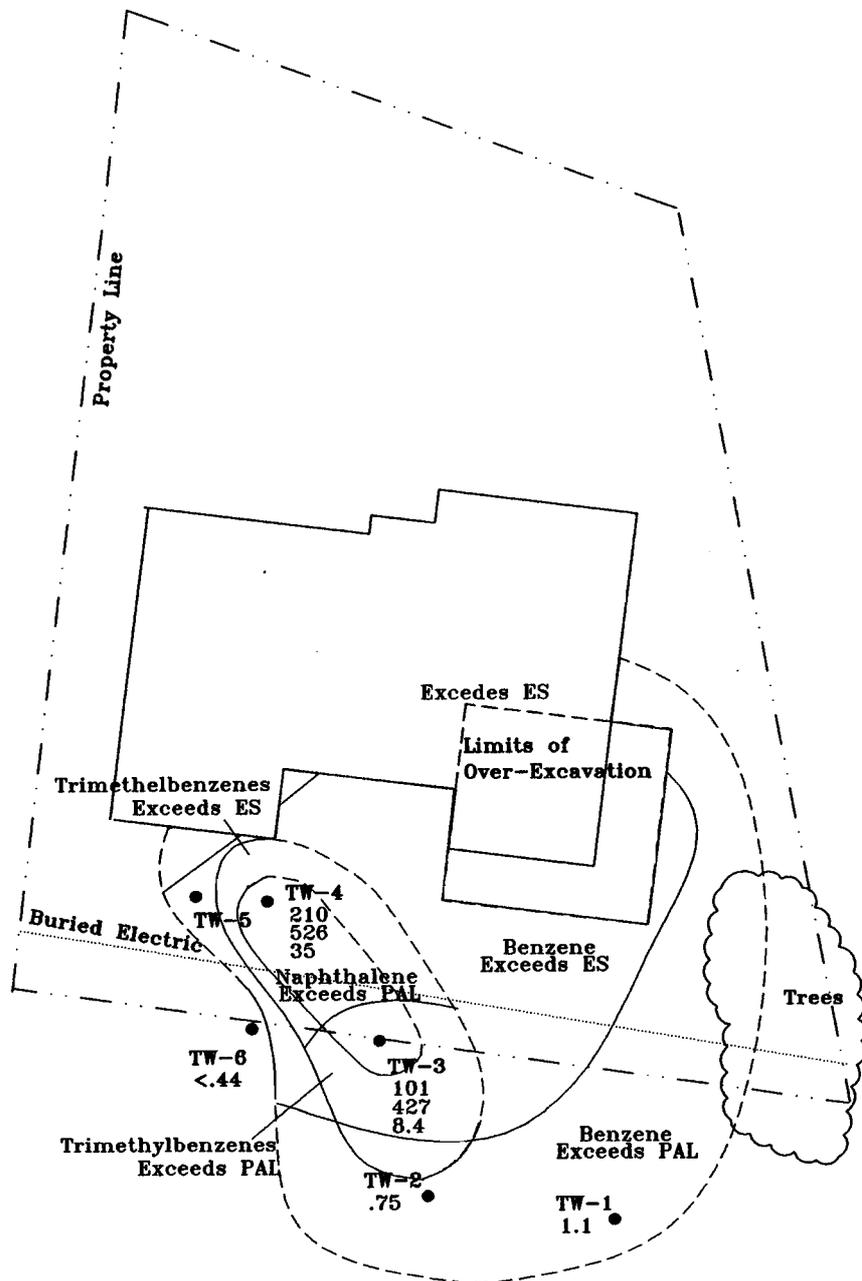
TABLE 1

Soil Analytical Results

Mastercraft
Spring Hill Court
Mount Pleasant, WI

Sample	Depth (ft BGS)	Sample Date	PID	GRO (mg/kg)	DRO (mg/kg)	1,2,4-Trimethyl- benzene	1,3,5-Trimethyl- benzene	Benzene	Ethylbenzene	Methyl tert-butyl ether	Total Xylenes	Isopropyl- benzene	Naphthalene	Toluene	n-Propylbenzene	sec-Butylbenzene	p-Isopropyltoluene	Arsenic (ICP) GLA (mg/kg)	Arsenic (Furnace) AP1 (mg/kg)	Calcium (mg/kg)	Lead (mg/kg)	Carbon, Total Organic (mg/kg)		
July Excavation Soil Samples Figure 9	NWW	8	7/23/01	NT	<5.83	NT	37	<25	<25	<25	<25	77.2	NT	NT	27.3	NT	NT	NT	NT	NT	NT	NT	NT	
	WW	8	7/23/01	NT	<5.77	NT	51.8	<25	<25	<25	<25	98.4	NT	NT	39.5	NT	NT	NT	NT	NT	NT	NT	NT	
	SWC	8	7/23/01	NT	<5.64	NT	35.4	<50	<50	<50	<25	63.4	NT	NT	<50	NT	NT	NT	NT	NT	NT	NT	NT	
	S Wall	8	7/23/01	NT	<5.71	NT	48.2	<50	<50	<50	<25	89.7	NT	NT	36.5	NT	NT	NT	NT	NT	NT	NT	NT	
	SEC	8	7/23/01	NT	<5.77	NT	<25	<25	<25	<25	<25	<25	NT	NT	<25	NT	NT	NT	NT	NT	NT	NT	NT	
	SEW	8	7/23/01	NT	9.6	NT	259	215	<25	61.6	<25	324	NT	NT	<25	NT	NT	NT	NT	NT	NT	NT	NT	
	E Wall	8	7/23/01	NT	162.0	NT	15000	5020	2760	8720	<125	33900	NT	NT	13700	NT	NT	NT	NT	NT	NT	NT	NT	
	NEC	8	7/23/01	NT	<5.67	NT	87.1	44.6	<25	35.8	<25	170	NT	NT	63.8	NT	NT	NT	NT	NT	NT	NT	NT	
	NWB*	14	7/23/01	NT	20.3	NT	134	1250	3040	191	<25	506	NT	NT	6050	NT	NT	NT	NT	NT	NT	NT	NT	
	SWB*	14	7/23/01	NT	<5.62	NT	105	47.6	27.7	59.7	<25	240	NT	NT	99.1	NT	NT	NT	NT	NT	NT	NT	NT	
SEB*	14	7/23/01	NT	167.0	NT	<50	502	22500	3150	<50	12300	NT	NT	78700	NT	NT	NT	NT	NT	NT	NT	NT		
NEB*	14	7/23/01	NT	6.0	NT	80.7	56.1	<25	28.8	<25	144	NT	NT	52.8	NT	NT	NT	NT	NT	NT	NT	NT		
Monitoring Well Soil Samples Figure 9	MW-1	10-13	10/10/01	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	6340	
	MW-2	10-13	10/10/01	NT	127.0	NT	8880	3660	324	2490	<50	8300	NT	NT	1000	NT	NT	NT	NT	NT	NT	NT	3900	
	MW-3	10-13	10/10/01	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	9270	
	MW-4	10-13	10/10/01	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	5960	
	MW-5	10-13	10/10/01	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	NT	7550	
Hand Auger Boring HA-3 Figure 9	HA-3	2-4	9/23/02	ND	<5.40	NT	<25	<25	<25	<25	<25	NT	<25	<25	NT	NT	NT	NT	NT	NT	NT	NT	NT	
	HA-3	6-8	9/24/02	ND	<5.77	NT	<25	<25	<25	<25	<25	NT	<25	<25	NT	NT	NT	NT	NT	NT	NT	NT	NT	
	HA-3	8-10	9/24/02	580	283	NT	14800	5210	10900	18100	1160	66300	NT	2850	1680	NT	NT	NT	NT	NT	NT	NT	NT	
	HA-3	10-12	9/24/02	880	213	NT	1950	543	14800	10400	1510	32700	NT	531	47700	NT	NT	NT	NT	NT	NT	NT	NT	
	HA-3	12-14	9/24/02	200	113	NT	2080	654	2980	5970	776	18700	NT	255	12900	NT	NT	NT	NT	NT	NT	NT	NT	
NR 720 Residual Contaminant Levels					100	100	NS	NS	5.5	2,900	NS	4,100	NS	NS	1,500	NS	NS	NS	0.039	0.039	8	50	NS	
NR 746.06 (2)(b) Soil Screening Levels					NS	NS	83,000	11,000	8,500	4,800	NS	42,000	NS	2,700	38,000	NS	NS	NS	NS	NS	NS	NS	NS	
EPA Risk Based Residential Concentration Limits					NS	NS	3,900,000	3,900,000	12000	7,800,000	NS	160,000,000	NS	1,600,000	16,000,000	3,100,000	3,100,000	NS	NS	0.43	0.43	39	NS	NS

NOTES:
 ND = Not Detected
 NS = No Standard.
 NT = Not Tested
 Bolded and boxed values exceed NR 720 RCLs or EPA RBRCLs
 Bolded, boxed and red values exceed NR 746 SSLs
 All results reported in micrograms per kilogram (ug/kg) except where otherwise noted.
 All other VOC compounds analyzed were below the laboratory minimum detection limits
 * - Samples collected beneath the historic low water table elevation



Legend

● Temporary Well



0 20
Scale (in feet)

Groundwater Sample Location Map
(Previous to July 2001 Excavation)

Mastercraft
Summit View Estates, Lot 2, Outlot 2
Mount Pleasant, WI

Environmental Innovations, Inc.

REV 6/02

Figure 3A

Springhill Drive

Lot 1

Lot 2

Lot 3

⊕ MW-1

Limits of Petroleum Impact to Groundwater

Naphthalene (413 ug/l),
Toluene (5,160 ug/l),
Ethylbenzene (1,730 ug/l),
Trimethylbenzenes (2,871 ug/l),
and Benzene (1,960 ug/l)
exceeds the ES
Xylene (7,490 ug/l)
exceeds the PAL

⊕ MW-2

● TW-7

Property Line

Buried Electric

⊕ MW-5

Trees

⊕ MW-3

Outlot 2

Limits of excavation

⊕ MW-4

Based on analytical results from samples collected on 7/2/03

Legend

- ⊕ Monitoring Well
- Temporary Well



0 20
Scale (in feet)

Groundwater Sample Location Map
(After July 2001 Excavation)

Mastercraft
Summit Hill Estates, Lot 2, Outlot 2
Mount Pleasant, WI

Environmental Innovations, Inc.
PVG 8/03

Figure 3B

TABLE 3 Groundwater Table Elevations

Mastercraft
Spring Hill Court
Mount Pleasant, WI

MW-2			TW-7		
Surface Elevation		94.40	Surface Elevation		94.40
Top of Casing Elevation		93.98	Top of Casing Elevation		96.32
Top of Screen Elevation		90.88	Top of Screen Elevation		91.32
Bottom of Screen Elevation		80.88	Bottom of Screen Elevation		81.32
Measurement Date	DTW	Groundwater Elevation	Measurement Date	DTW	Groundwater Elevation
12/21/2001	Dry	Dry	12/21/2001	NI	NI
2/6/2002	Dry	Dry	2/6/2002	NI	NI
9/6/2002	Dry	Dry	9/30/2002	12.47	83.85
10/7/2002	11.41	82.57	10/7/2002	10.65	85.67
1/13/2003	12.06	81.92	1/13/2003	11.58	84.74
7/2/2003	12.86	81.12	7/2/2003	9.31	82.01

MW-3			MW-4			MW-5		
Surface Elevation		95.81	Surface Elevation		95.17	Surface Elevation		94.81
Top of Casing Elevation		98.00	Top of Casing Elevation		97.34	Top of Casing Elevation		94.56
Top of Screen Elevation		92.77	Top of Screen Elevation		92.10	Top of Screen Elevation		91.43
Bottom of Screen Elevation		82.77	Bottom of Screen Elevation		82.10	Bottom of Screen Elevation		81.43
Measurement Date	DTW	Groundwater Elevation	Measurement Date	DTW	Groundwater Elevation	Measurement Date	DTW	Groundwater Elevation
12/21/2001	7.65	90.35	12/21/2001	10.06	87.28	12/21/2001	11.27	83.29
2/6/2002	8.40	89.60	2/6/2002	10.86	86.48	2/6/2002	12.82	81.74
9/6/2002	12.18	85.82	9/6/2002	Damaged	Damaged	9/6/2002	Abandoned	Abandoned
10/7/2002	14.20	83.80	10/7/2002	Damaged	Damaged	10/7/2002	Abandoned	Abandoned
1/13/2003	Dry	Dry	1/13/2003	Damaged	Damaged	1/13/2002	Abandoned	Abandoned

Notes:

All Casing elevations are measured based on a site datum.

NI - Not installed

DTW - Depth to water

Environmental Innovations
By: PVG
Checked by: TWP

11/4/2003
Mastercraft Tables.XLS
gwttable

Water table elevation based on a local site datum using the 12/21/01 measurements.

Springhill Drive

Lot 1

Lot 2

Lot 3

⊕ MW-1

⊕ MW-2

Property Line

Buried Electric

84.00'

85.00'

86.00'

87.00'

88.00'

89.00'

90.00'

⊕ MW-5
83.29'

Trees

⊕ MW-3
90.35'

Outlot 2

⊕ MW-4
87.28'

Legend

MW-4 ⊕ Monitoring Well
87.28' ⊕ Groundwater table elevation



0 20
Scale (in feet)

Groundwater Flow Direction (12/21/01)

Mastercraft
Summit Hill Estates, Lot 2, Outlot 2
Mount Pleasant, WI

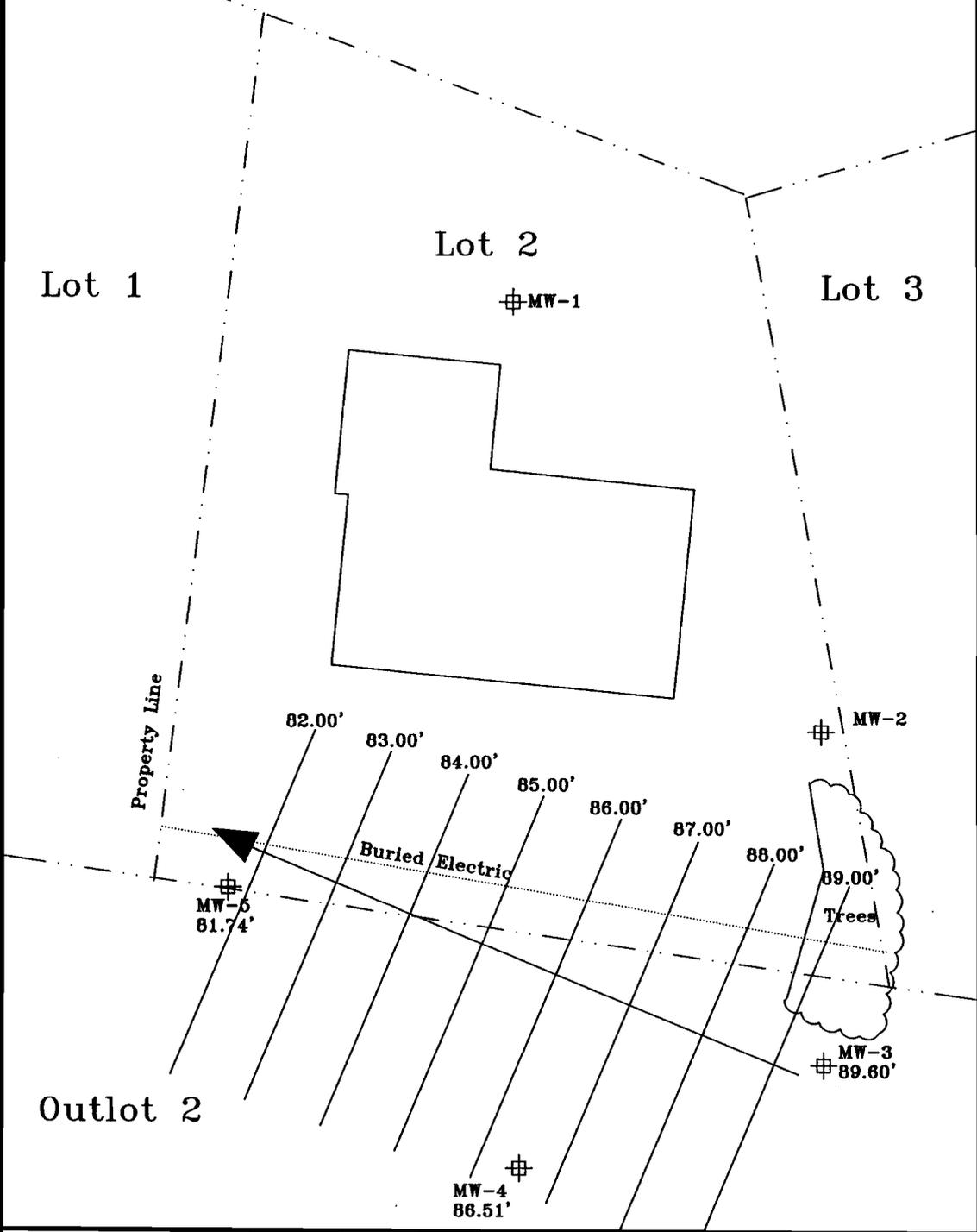
Figure 4

Environmental Innovations, Inc.

PVG 12/01

Water table elevation based on a local site datum using the 2/6/02 measurements.

Springhill Drive



Legend

MW-4  Monitoring Well
 86.51'  Groundwater table elevation



0 20
 Scale (in feet)

Groundwater Flow Direction (2/6/02)

Mastercraft
 Summit Hill Estates, Lot 2, Outlot 2
 Mount Pleasant, WI

Figure 5

Springhill Drive

Lot 1

Lot 2

Lot 3

⊕ MW-1

Limits of Excavation

These soil contaminants are positioned beneath the watertable and are not regulated under NR720 or NR746. These were not included in the soil contaminant mass calculations

PIE PROPERTY

HA-3
283
14800
18100
66300
47700
2850

NEC

MW-2

127

224

8300

E Wall

182

2760

8760

33900

13700

Naphthalene

NEB

Trees

SEW

MW-3

Property Line

TW-4

Benzene

Toluene

Xylenes

GRO

Ethylbenzene

NWB

3040

6050

SWB

27.7

NEB

SEC

SEB

167

22500

3150

12300

78700

Outlot 2

SWC

S Wall

TW-6

⊕ MW-5

WW

⊕ MW-4

Legend

- Soil Sample Location
- Temporary Well
- ⊕ Proposed Monitoring Well



0 20
Scale (in feet)

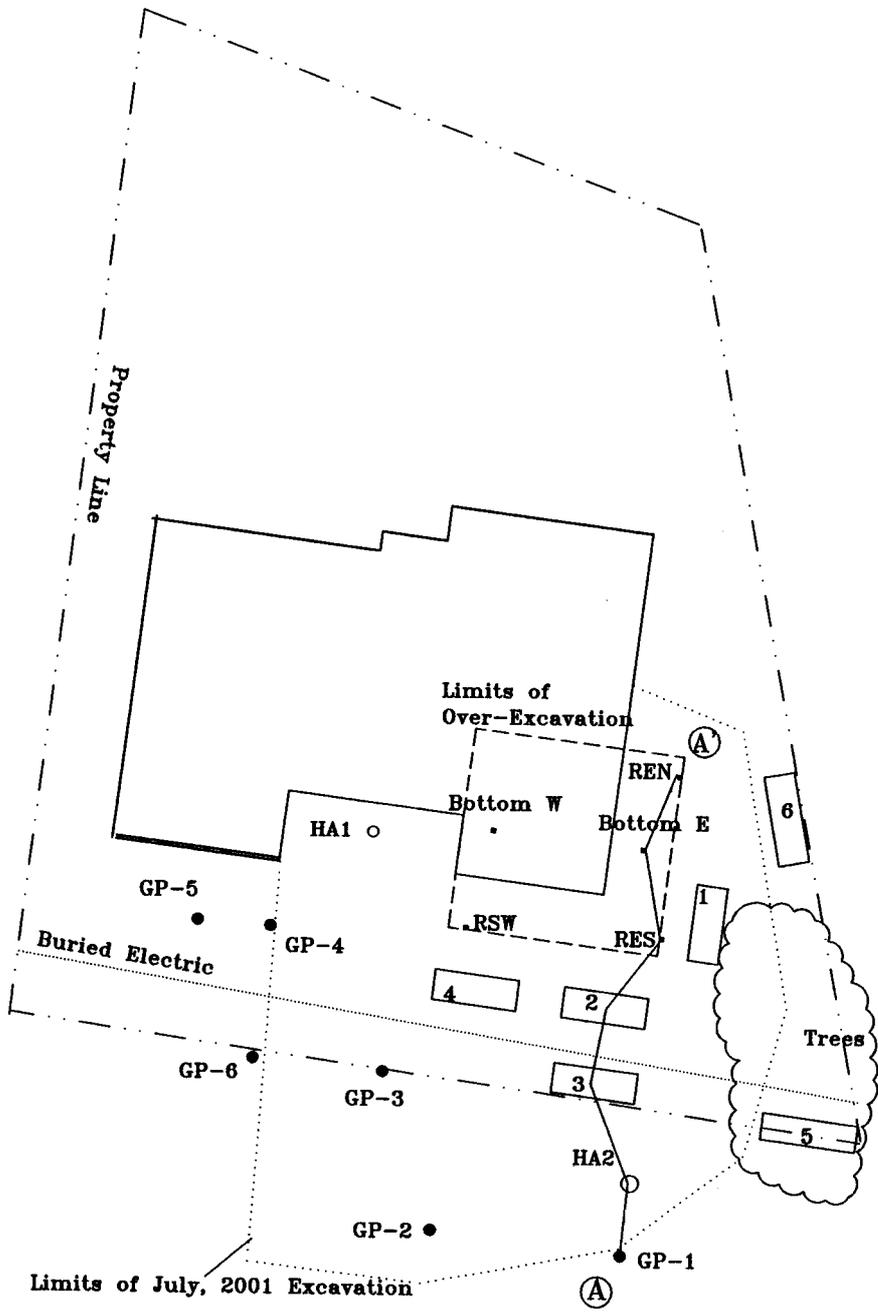
Post-Remedial Soil Sample Location Map

Mastercraft
Summit Hill Estates, Lot 2, Outlot 2
Mount Pleasant, WI

Environmental Innovations, Inc.

FVG 8/03

Figure 6



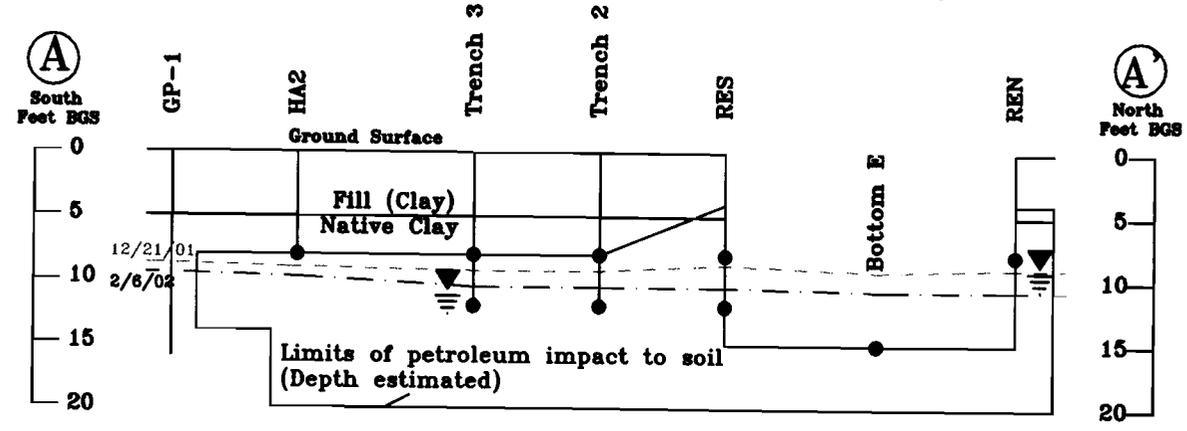
Legend

- Soil Sample Location
 - Geoprobe Boring
 - Trench Location
 - Hand Auger Boring
- 0 20
Scale (in feet)

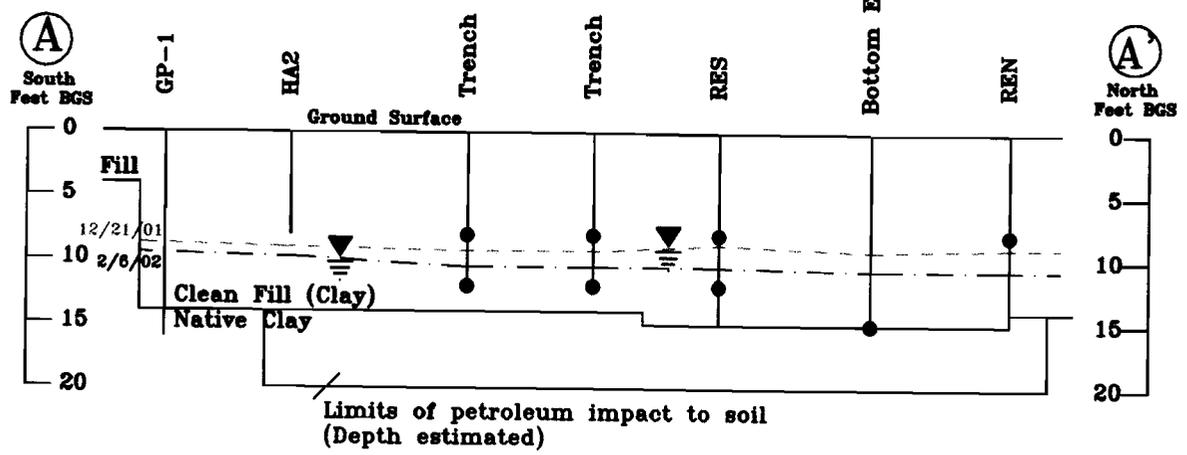
**Cross Section
Location Map (A-A')**

Mastercraft
Summit View Estates, Lot 2, Outlot 2
Mount Pleasant, WI

Pre-Remedial Geologic Cross Section (Pre July 2001 Excavation)

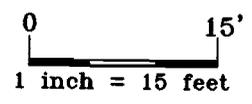


Post-Remedial Geologic Cross Section (Post July 2001 Excavation)



NOTES:

1. The stratum lines are based on interpolation between borings and may not represent actual subsurface conditions.
2. Refer to Figure 7 for legend and cross section location.
3. For the purpose of illustrating subsoil conditions on the cross section, some of the boring logs have been simplified. For a detailed description of subsurface conditions at individual borings, refer to soil boring logs.
4. ● = Sample location
5. Water table elevations, identified by ▼, were measured by Environmental Innovations, Inc. on 12/21/01 and 2/6/02.

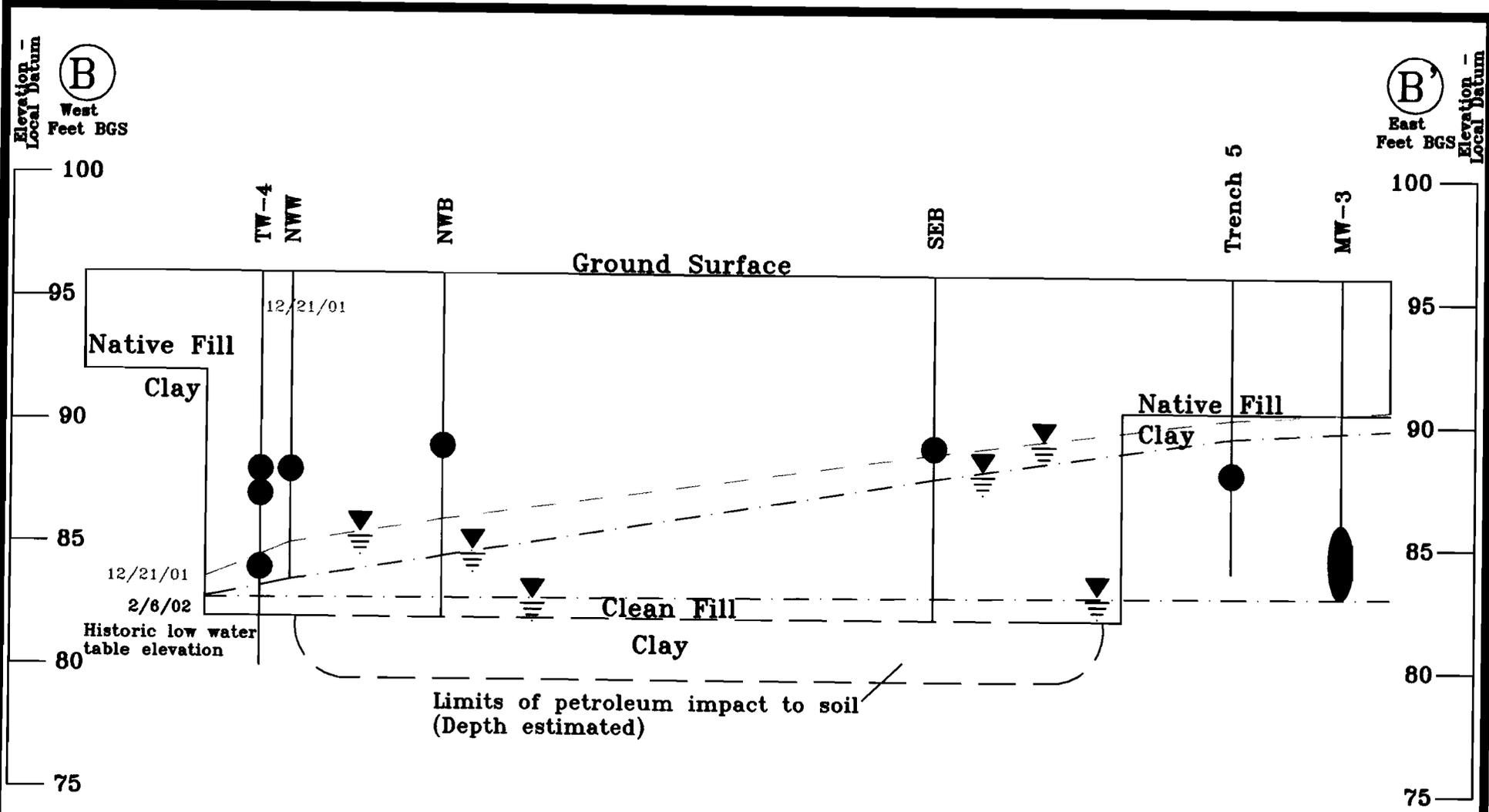


Geologic Cross Section A-A'

Mastercraft

Summit View Estates, Lot 2, Outlot 2
Mount Pleasant, WI

Environmental Innovations, Inc.



- NOTES:**
1. The stratum lines are based on interpolation between borings and may not represent actual subsurface conditions.
 2. Refer to Figure 11 for legend and cross section location.
 3. For the purpose of illustrating subsoil conditions on the cross section, some of the boring logs have been simplified. For a detailed description of subsurface conditions at individual borings, refer to soil boring logs.
 4. ● = Soil sample location
 5. Water table elevations, identified by ▽, were measured by Environmental Innovations, Inc. on 12/21/01 and 2/6/02.

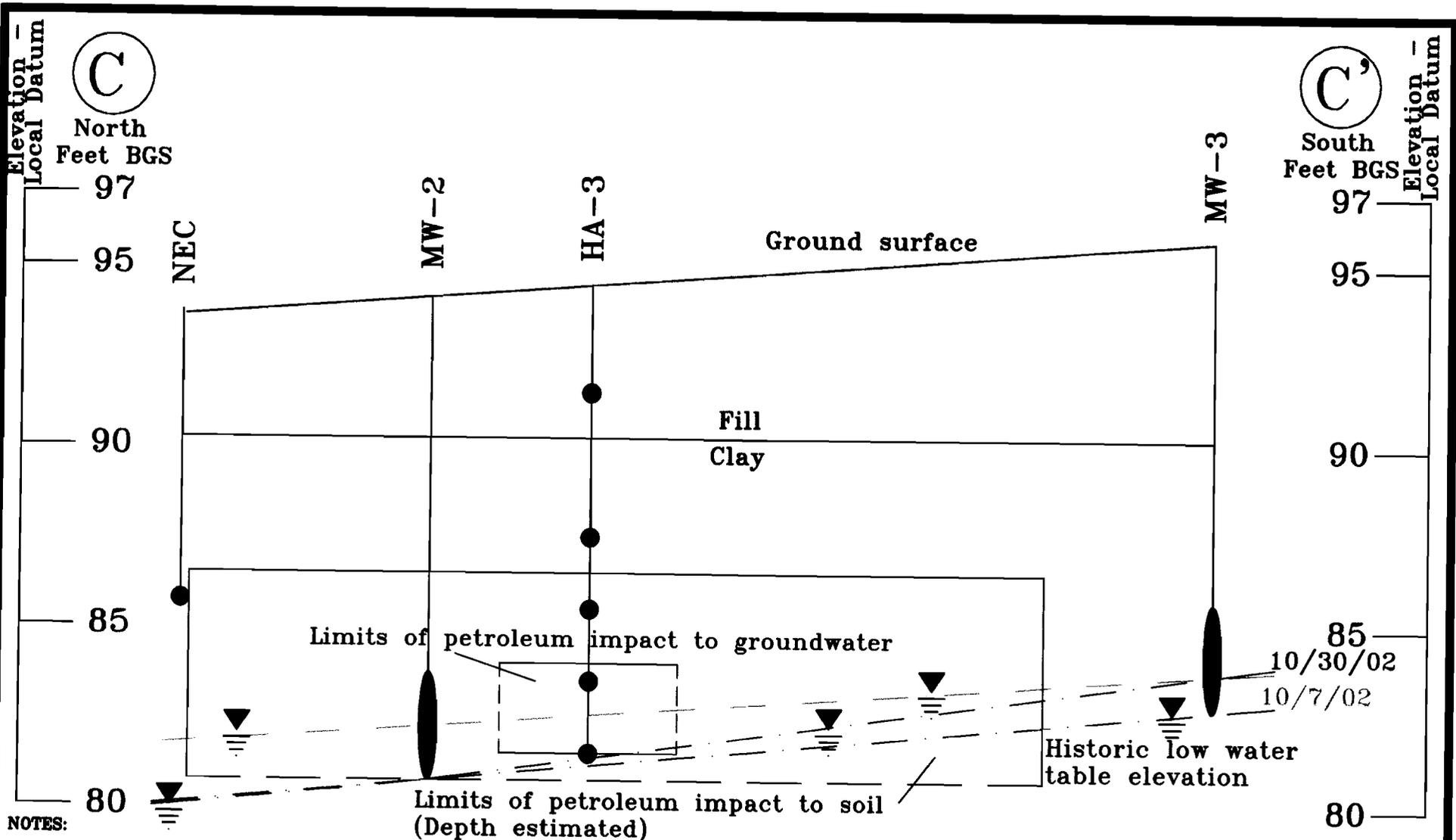
0 12'
1 inch = 12 feet
Vertical Exaggeration = 2 times

**Geologic Cross
Section B-B'**

**Mastercraft
Summit View Estates, Lot 2, Outlot 2
Mount Pleasant, WI**

Figure 9

Environmental Innovations, Inc.



NOTES:

1. The stratum lines are based on interpolation between borings and may not represent actual subsurface conditions.
2. Refer to Figure 11 for legend and cross section location.
3. For the purpose of illustrating subsurface conditions on the cross section, some of the boring logs have been simplified. For a detailed description of subsurface conditions at individual borings, refer to soil boring logs.
4. ● = Soil sample location
5. Water table elevations, identified by ▽, were measured by Environmental Innovations, Inc. on 10/7/02 and 10/30/02.



1 inch = 8'
Vertical Exaggeration = 2 times

**Geologic Cross
Section C-C'**

Mastercraft

Summit View Estates, Lot 2, Outlot 2
Mount Pleasant, WI

Figure 10

Environmental Innovations, Inc.

Crocus Court

Lot 1

Lot 2

Lot 3

⊕ MW-1

Limits of Excavation

Property Line

Ⓢ NEC

MW-2

E Wall

HA-3

Ⓢ TW-4

Buried Electric

NWB

NEB

⊕ MW-5

TW-5

SEW

Trees

MW-3

Ⓢ Ⓢ

Outlot 2

WW

SWB

SEB

SEC

SWC

S Wall

TW-1

⊕ MW-4



0 20
Scale (in feet)

Legend

- Soil Sample Location
- Geoprobe Boring
- ⊕ Proposed Monitoring Well
- 4 Trench Location
- Hand Auger Boring

Cross Section Location Map (B-B' & C-C')

Mastercraft
Summit Hill Estates, Lot 2, Outlot 2
Mount Pleasant, WI



Custom Builders & Developers

November 3, 2003

Mr and Mrs. Timothy A. Pie, Jr.
6517 Spring Hills Drive
Racine, WI 53406

Set 3

Dear Mr and Mrs. Pie:

Groundwater and soil contamination that appears to have originated on the property located at 6521 Springhill Drive has migrated onto your property at 6517 Springhill Drive. The levels of Volatile Organic Compounds (VOCs) including benzene, ethylbenzene, toluene, xylene, naphthalene, and trimethylbenzene contamination in the groundwater on your property are above the state groundwater enforcement standards found in chapter NR 140, Wisconsin Administrative Code. The levels of Gasoline Range Organics (GRO) and Volatile Organic Compounds (VOCs) including benzene, ethylbenzene, toluene, xylene, and naphthalene contamination in the soil on your property are above the state Residual Contaminant Levels found in chapter NR 720, Wisconsin Administrative Code and Soil Screening Levels found in chapter NR 746. However, the environmental consultants who have investigated this contamination have informed me that the groundwater and soil contaminant plume is stable or receding and will naturally degrade over time. I believe that allowing natural attenuation to complete the cleanup at this site will meet the requirements for case closure that are found in chapter NR 726 and chapter NR 746, Wisconsin Administrative Code, and I will be requesting that the Department of Natural Resources accept natural attenuation as the final remedy for this site and grant case closure. Closure means that the Department will not be requiring any further investigation or cleanup action to be taken, other than the reliance on natural attenuation.

Since the source of the groundwater and soil contamination is not on your property, neither you nor any subsequent owner of your property will be held responsible for investigation or cleanup of this soil or groundwater contamination, as long as you and any subsequent owners comply with the requirements of section 292.13, Wisconsin Statutes, including allowing access to your property for environmental investigation or cleanup if access is required. For further information on the requirements of section 292.13, Wisconsin Statutes, you may call 1-800-367-6076 for calls originating in Wisconsin, or 608-264-6020 if you are calling from out of state or within the Madison area, to obtain a copy of the Department of Natural Resources' publication #RR-589, Fact Sheet 10: Guidance for Dealing with Properties Affected by Off-Site Contamination.

The Department of Natural Resources will not review my closure request for at least 30 days after the date of this letter. As an affected property owner, you have a right to contact the Department to provide any technical information that you may have that indicates that closure should not be granted for this site. If you would like to submit any information to the Department of Natural Resources that is relevant to this closure request, you should mail that information to: Victoria Stovall, Wisconsin Department of Natural Resources, P.O. Box 12436, Milwaukee, WI 53212.

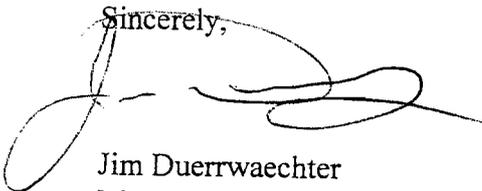
If this case is closed, all properties within the site boundaries where groundwater contamination exceeds chapter NR 140 groundwater enforcement standards and soil contamination exceeds NR 720 residual contaminant levels and NR 746 soil screening levels will be listed on the Department of Natural Resources' geographic information system (GIS) Registry of Closed Remediation Sites. The information on the GIS Registry includes maps showing the location of properties in Wisconsin where groundwater contamination above chapter NR 140 enforcement standards or soil contamination above NR 720 residual contaminant levels and NR 746 soil screening levels was found at the time that the case was closed. This GIS Registry will be available to the general public on the Department of Natural Resources' internet web site. Please review the enclosed legal description of your property, and notify me within the next 30 days if the legal description is incorrect.

Should you or any subsequent property owner wish to construct or reconstruct a well on your property, special well construction standards may be necessary to protect the well from the residual groundwater contamination. Any well driller who proposes to construct a well on your property in the future will first need to call the Diggers Hotline (1-800-242-8511) if your property is located outside of the service area of a municipally owned water system, or contact the Drinking Water program within the Department of Natural Resources if your property is located within the designated service area of a municipally owned water system, to determine if there is a need for special well construction standards. Furthermore, residual petroleum contaminated soil remains on the southwestern portion of the property. It has been shown that the contaminant levels are protective of health and the environment. If the contaminated soil is excavated in the future, it may be considered a solid waste and will need to be managed in accordance with all applicable laws.

Once the Department makes a decision on my closure request, it will be documented in a letter. If the Department grants closure, you may obtain a copy of this letter by requesting a copy from me, by writing to the agency address given above or by accessing the DNR GIS Registry of Closed Remediation Sites on the internet at www.dnr.state.wi.us/org/at/et/geo/gwur. A copy of the closure letter is included as part of the site file on the GIS Registry of Closed Remediation Sites.

If you need more information, you may contact me at Mastercraft Builders, Inc., 5008 Green Bay Road, Kenosha, WI 53144, (262) 654-1881, or you may contact Michelle Williams at Wisconsin Department of Natural Resources, P.O. Box 12436, Milwaukee, WI 53212, (414) 263-8564.

Sincerely,

A handwritten signature in black ink, appearing to read "Jim Duerrwaechter", with a large, stylized flourish extending to the left.

Jim Duerrwaechter
Mastercraft Builders, Inc.

DOCUMENT #

1777024

STATE BAR OF WISCONSIN FORM 1 - 1999

WARRANTY DEED

Document Number

REGISTER'S OFFICE
RACINE COUNTY, WI

RECORDED _____

2001 JUN 14 PM 4:35

MARK A. LADD
REGISTER OF DEEDS

VOL 3198
PAGE 817

This Deed, made between
JJD Mastercraft Builders, Inc.
Grantor,
and
Timothy A. Pie, Jr. and Corrie A. Pie
Grantee.

Grantor, for a valuable consideration, conveys to Grantee the following described real estate in Racine County, State of Wisconsin (the "Property") (if more space is needed, please attach addendum):
Lot 3, Summit View Estates, according to the recorded plat thereof. Said land being in the Town of Mt. Pleasant, Racine County, Wisconsin.

WI REAL ESTATE
TRANSFER FEE
\$ 493.50

Recording Area

Name and Return Address

Pie
6517 Spring Hills Drive
Racine, WI

51-008-03-22-11-200030

Parcel Identification Number (PIN)

Together with all appurtenant rights, title and interests.

This IS NOT homestead property.
(is) (is not)

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except MUNICIPAL AND ZONING ORDINANCES AND AGREEMENTS ENTERED UNDER THEM, RECORDED EASEMENTS FOR THE DISTRIBUTION OF UTILITY AND MUNICIPAL SERVICES, RECORDED BUILDING AND USE RESTRICTIONS AND COVENANTS, GENERAL TAXES LEVIED IN THE YEAR OF CLOSING.

Dated this 20 day of April, 2001.

JJD MASTERCRAFT BUILDERS, INC.

* James J. Duerrwaechter, Pres.

AUTHENTICATION

Signature(s) _____

authenticated this _____ day of _____, _____

TITLE: MEMBER STATE BAR OF WISCONSIN

(If not, _____
authorized by §706.06, Wis. Stats.)

THIS INSTRUMENT WAS DRAFTED BY

JAMES J. DUERRWAECHTER, PRESIDENT

(Signatures may be authenticated or acknowledged. Both are not necessary.)

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) ss.

KENOSHA County.)

Personally came before me this 20 day of April, 2001 the above named

James J. Duerrwaechter, Pres.

to me known to be the person James J. Duerrwaechter who executed the foregoing instrument and acknowledged the same.

* DEBORAH A. LADD

Notary Public, State of Wisconsin

My Commission is permanent (or) expires on state expiration date: April 09, 2002.

WARRANTY DEED

STATE BAR OF WISCONSIN
FORM No. 1-1999

*Names of persons signing in any capacity must be typed or printed below their signature.

Produced with ZipForm™ by RE FormsNet, LLC 18025 Fifteen Mile Road, Clinton Township Michigan 48038, (800) 383-9805

MasterCraft Builders, Inc. 5008 GreenBay Road Kenosha WI 53144

Phone: 414-654-1220

Fax: 414-654-1881

01509047.LFD

33538



Custom Builders & Developers

November, 2003

Mr and Mrs. Robert C. Darnell
6521 Spring Hill Drive
Racine, WI 53406

Dear Mr and Mrs. Darnell:

Groundwater and soil contamination that appears to have originated on the property located at 6521 Spring Hill Drive remains on that property. The levels of Volatile Organic Compounds (VOCs) including benzene, ethylbenzene, toluene, xylene, naphthalene, and trimethylbenzene contamination in the groundwater on your property are above the state groundwater enforcement standards found in chapter NR 140, Wisconsin Administrative Code. The levels of Gasoline Range Organics (GRO) and VOCs including benzene, ethylbenzene, toluene, xylene, and naphthalene contamination in the soil on your property are above the state Residual Contaminant Levels found in chapter NR 720, Wisconsin Administrative Code and Soil Screening Levels found in chapter NR 746. However, the environmental consultants who have investigated this contamination have informed me that the groundwater and soil contaminant plume is stable or receding and will naturally degrade over time. I believe that allowing natural attenuation to complete the cleanup at this site will meet the requirements for case closure that are found in chapter NR 726 and chapter NR 746, Wisconsin Administrative Code, and I will be requesting that the Department of Natural Resources accept natural attenuation as the final remedy for this site and grant case closure. Closure means that the Department will not be requiring any further investigation or cleanup action to be taken, other than the reliance on natural attenuation.

Since Mastercraft Builders, Inc. is responsible for the groundwater and soil contamination, neither you nor any subsequent owner of your property will be held responsible for investigation or cleanup of this soil or groundwater contamination, as long as you and any subsequent owners comply with the requirements of section 292.13, Wisconsin Statutes, including allowing access to your property for environmental investigation or cleanup if access is required. For further information on the requirements of section 292.13, Wisconsin Statutes, you may call 1-800-367-6076 for calls originating in Wisconsin, or 608-264-6020 if you are calling from out of state or within the Madison area, to obtain a copy of the Department of Natural Resources' publication #RR-589, Fact Sheet 10: Guidance for Dealing with Properties Affected by Off-Site Contamination.

The Department of Natural Resources will not review my closure request for at least 30 days after the date of this letter. As an affected property owner, you have a right to contact the Department to provide any technical information that you may have that indicates that closure should not be granted for this site. If you would like to submit any information to the Department of Natural Resources that is relevant to this closure request, you should mail that information to: Victoria Stovall, Wisconsin Department of Natural Resources, P.O. Box 12436, Milwaukee, WI 53212.

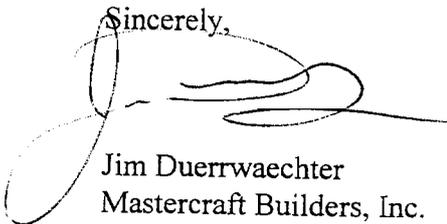
If this case is closed, all properties within the site boundaries where groundwater contamination exceeds chapter NR 140 groundwater enforcement standards and soil contamination exceeds NR 720 residual contaminant levels and NR 746 soil screening levels will be listed on the Department of Natural Resources' geographic information system (GIS) Registry of Closed Remediation Sites. The information on the GIS Registry includes maps showing the location of properties in Wisconsin where groundwater contamination above chapter NR 140 enforcement standards or soil contamination above NR 720 residual contaminant levels and NR 746 soil screening levels was found at the time that the case was closed. This GIS Registry will be available to the general public on the Department of Natural Resources' internet web site. Please review the enclosed legal description of your property, and notify me within the next 30 days if the legal description is incorrect.

Should you or any subsequent property owner wish to construct or reconstruct a well on your property, special well construction standards may be necessary to protect the well from the residual groundwater contamination. Any well driller who proposes to construct a well on your property in the future will first need to call the Diggers Hotline (1-800-242-8511) if your property is located outside of the service area of a municipally owned water system, or contact the Drinking Water program within the Department of Natural Resources if your property is located within the designated service area of a municipally owned water system, to determine if there is a need for special well construction standards. Furthermore, residual petroleum contaminated soil remains on the southeastern portion of the property. It has been shown that the contaminant levels are protective of health and the environment. If the contaminated soil is excavated in the future, it may be considered a solid waste and will need to be managed in accordance with all applicable laws.

Once the Department makes a decision on my closure request, it will be documented in a letter. If the Department grants closure, you may obtain a copy of this letter by requesting a copy from me, by writing to the agency address given above or by accessing the DNR GIS Registry of Closed Remediation Sites on the internet at www.dnr.state.wi.us/org/at/et/geo/gwur. A copy of the closure letter is included as part of the site file on the GIS Registry of Closed Remediation Sites.

If you need more information, you may contact me at Mastercraft Builders, Inc., 5008 Green Bay Road, Kenosha, WI 53144, (262) 654-1881, or you may contact Michelle Williams at Wisconsin Department of Natural Resources, P.O. Box 12436, Milwaukee, WI 53212, (414) 263-8564.

Sincerely,



Jim Duerrwaechter
Mastercraft Builders, Inc.

DOCUMENT #

1813469
Document Number

STATE BAR OF WISCONSIN FORM 1 - 2000

WARRANTY DEED

REGISTER'S OFFICE
RACINE COUNTY, WI

VOL PAGE
3359 793

This Deed, made between

DANIEL J. DUERRWAECHTER

Grantor,

and

ROBERT C. DARNELL AND DEBRA D. DARNELL

Grantee.

Grantor, for a valuable consideration, conveys to Grantee the following described real estate in RACINE County, State of Wisconsin (the "Property") (if more space is needed, please attach addendum):
LOT 2, SUMMIT VIEW ESTATES, ACCORDING TO THE RECORDED PLAT THEREOF. SAID LAND BEING IN THE TOWN OF MT. PLEASANT, RACINE COUNTY, WISCONSIN.

RECORDED _____

2002 JAN 28 PM 4:55

REGISTER OF DEEDS

Recording Area

Name and Return Address

DARNELL
6521 SPRING HILL DRIVE
Racine, WI 53406

WI DEED TRANSFER FEE

\$ 498.30

51-008-03-22-11-200020

Parcel Identification Number (PIN)

This IS NOT homestead property.
(is) (is not)

Together with all appurtenant rights, title and interests.

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except Municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use restrictions and covenants, general taxes levied in the year of closing.

Dated this 18th day of January, 2002.

* Daniel J. Duerrwaechter

AUTHENTICATION

Signature(s) _____

authenticated this _____ day of _____, _____

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) ss.

Kenosha County.)

Personally came before me this 18th day of January, 2002 the above named

Daniel J. Duerrwaechter

to me known to be the person who executed the foregoing instrument and acknowledged the same.

* Deborah A. Leable

Notary Public, State of Wisconsin

My Commission is permanent. If not, state expiration date: _____, 2002.)

TITLE: MEMBER STATE BAR OF WISCONSIN

(If not, _____
authorized by §706.06, Wis. Stats.)

THIS INSTRUMENT WAS DRAFTED BY

Deborah A. Leable

JJD Mastercraft Builders, Inc.

(Signatures may be authenticated or acknowledged. Both are not necessary.)

*Names of persons signing in any capacity must be typed or printed below their signature.

WARRANTY DEED

STATE BAR OF WISCONSIN

FORM No. 1-2000

MasterCraft Builders, Inc. 5008 GreenBay Road, Kenosha WI 53144

Phone: 4146541220

Fax: 4146541881

Debbie Leable

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35186