

GIS REGISTRY

Cover Sheet

March, 2010
(RR 5367)

Source Property Information

BRRTS #:

ACTIVITY NAME:

PROPERTY ADDRESS:

MUNICIPALITY:

PARCEL ID #:

CLOSURE DATE:

FID #:

DATCP #:

COMM #:

*WTM COORDINATES:

X: Y:

** Coordinates are in
WTM83, NAD83 (1991)*

WTM COORDINATES REPRESENT:

- Approximate Center Of Contaminant Source
- Approximate Source Parcel Center

Please check as appropriate: (BRRTS Action Code)

Contaminated Media:

Groundwater Contamination > ES (236)

Contamination in ROW

Off-Source Contamination

*(note: for list of off-source properties
see "Impacted Off-Source Property" form)*

Soil Contamination > *RCL or **SSRCL (232)

Contamination in ROW

Off-Source Contamination

*(note: for list of off-source properties
see "Impacted Off-Source Property" form)*

Land Use Controls:

N/A (Not Applicable)

Soil: maintain industrial zoning (220)

*(note: soil contamination concentrations
between non-industrial and industrial levels)*

Structural Impediment (224)

Site Specific Condition (228)

Cover or Barrier (222)

*(note: maintenance plan for
groundwater or direct contact)*

Vapor Mitigation (226)

Maintain Liability Exemption (230)

*(note: local government unit or economic
development corporation was directed to
take a response action)*

Monitoring Wells:

Are all monitoring wells properly abandoned per NR 141? (234)

Yes No N/A

** Residual Contaminant Level*

***Site Specific Residual Contaminant Level*

This Adobe Fillable form is intended to provide a list of information that is required for evaluation for case closure. It is to be used in conjunction with Form 4400-202, Case Closure Request. The closure of a case means that the Department has determined that no further response is required at that time based on the information that has been submitted to the Department.

NOTICE: Completion of this form is mandatory for applications for case closure pursuant to ch. 292, Wis. Stats. and ch. NR 726, Wis. Adm. Code, including cases closed under ch. NR 746 and ch. NR 726. The Department will not consider, or act upon your application, unless all applicable sections are completed on this form and the closure fee and any other applicable fees, required under ch. NR 749, Wis. Adm. Code, Table 1 are included. It is not the Department's intention to use any personally identifiable information from this form for any purpose other than reviewing closure requests and determining the need for additional response action. The Department may provide this information to requesters as required by Wisconsin's Open Records law [ss. 19.31 - 19.39, Wis. Stats.].

BRRTS #: 03-04-553840 PARCEL ID #: (Lots 6-16, Block 12) 04-291-2-48-04-05-2 00-312-07100; 20
ACTIVITY NAME: HOLIDAY STATION STORE #227 WTM COORDINATES: X: 450952 Y: 688915

CLOSURE DOCUMENTS (the Department adds these items to the final GIS packet for posting on the Registry)

- Closure Letter**
- Maintenance Plan** (if activity is closed with a land use limitation or condition (land use control) under s. 292.12, Wis. Stats.)
- Continuing Obligation Cover Letter** (for property owners affected by residual contamination and/or continuing obligations)
- Conditional Closure Letter**
- Certificate of Completion (COC)** (for VPLE sites)

SOURCE LEGAL DOCUMENTS

- Deed:** The most recent deed as well as legal descriptions, for the **Source Property** (where the contamination originated). Deeds for other, off-source (off-site) properties are located in the **Notification** section.
Note: If a property has been purchased with a land contract and the purchaser has not yet received a deed, a copy of the land contract which includes the legal description shall be submitted instead of the most recent deed. If the property has been inherited, written documentation of the property transfer should be submitted along with the most recent deed.
- Certified Survey Map:** A copy of the certified survey map or the relevant section of the recorded plat map for those properties where the legal description in the most recent deed refers to a certified survey map or a recorded plat map. (lots on subdivided or platted property (e.g. lot 2 of xyz subdivision)).
Figure #: -- **Title:** Lots 6-16 of Block 12 of the Original Plat of the City of Washburn, Wisconsin
- Signed Statement:** A statement signed by the Responsible Party (RP), which states that he or she believes that the attached legal description accurately describes the correct contaminated property.

MAPS (meeting the visual aid requirements of s. NR 716.15(2)(h))

Maps must be no larger than 11 x 17 inches unless the map is submitted electronically.

- Location Map:** A map outlining all properties within the contaminated site boundaries on a U.S.G.S. topographic map or plat map in sufficient detail to permit easy location of all parcels. If groundwater standards are exceeded, include the location of all potable wells within 1200 feet of the site.
Note: Due to security reasons municipal wells are not identified on GIS Packet maps. However, the locations of these municipal wells must be identified on Case Closure Request maps.
Figure #: 1 **Title:** Site Location Map
- Detailed Site Map:** A map that shows all relevant features (buildings, roads, individual property boundaries, contaminant sources, utility lines, monitoring wells and potable wells) within the contaminated area. This map is to show the location of all contaminated public streets, and highway and railroad rights-of-way in relation to the source property and in relation to the boundaries of groundwater contamination exceeding a ch. NR 140 Enforcement Standard (ES), and/or in relation to the boundaries of soil contamination exceeding a Residual Contaminant Level (RCL) or a Site Specific Residual Contaminant Levels (SSRCL) as determined under s. NR 720.09, 720.11 and 720.19.
Figure #: 2 **Title:** Site Plan View
- Soil Contamination Contour Map:** For sites closing with residual soil contamination, this map is to show the location of all contaminated soil and a single contour showing the horizontal extent of each area of contiguous residual soil contamination that exceeds a Residual Contaminant Level (RCL) or a Site Specific Residual Contaminant Level (SSRCL) as determined under s. NR 720.09, 720.11 and 720.19.
Figure #: 4A thru 4D **Title:** Soil GRO, DRO, Benzene and Benzo (a) pyrene Distribution Maps

BRRTS #: 03-04-553840

ACTIVITY NAME: HOLIDAY STATION STORE #227

MAPS (continued)

- Geologic Cross-Section Map:** A map showing the source location and vertical extent of residual soil contamination exceeding a Residual Contaminant Level (RCL) or a Site Specific Residual Contaminant Level (SSRCL). If groundwater contamination exceeds a ch. NR 140 Enforcement Standard (ES) when closure is requested, show the source location and vertical extent, water table and piezometric elevations, and locations and elevations of geologic units, bedrock and confining units, if any.

Figure #: 5 **Title: Geologic Cross-Section Plan View**

Figure #: 5A and 5B **Title: Geologic Cross-Section A-A' and B-B'**

- Groundwater Isoconcentration Map:** For sites closing with residual groundwater contamination, this map shows the horizontal extent of all groundwater contamination exceeding a ch. NR140 Preventive Action Limit (PAL) and an Enforcement Standard (ES). Indicate the direction and date of groundwater flow, based on the most recent sampling data.

Note: *This is intended to show the total area of contaminated groundwater.*

Figure #: 7 **Title: Groundwater Benzene Distribution Map (4/21/10)**

- Groundwater Flow Direction Map:** A map that represents groundwater movement at the site. If the flow direction varies by more than 20° over the history of the site, submit 2 groundwater flow maps showing the maximum variation in flow direction.

Figure #: 6A **Title: Potentiometric Surface map (5/21/10)**

Figure #: 6B **Title: Potentiometric Surface map (10/7/10)**

TABLES (meeting the requirements of s. NR 716.15(2)(h)(3))

Tables must be no larger than 11 x 17 inches unless the table is submitted electronically. Tables must not contain shading and/or cross-hatching. The use of **BOLD** or *ITALICS* is acceptable.

- Soil Analytical Table:** A table showing remaining soil contamination with analytical results and collection dates.
Note: This is one table of results for the contaminants of concern. Contaminants of concern are those that were found during the site investigation, that remain after remediation. It may be necessary to create a new table to meet this requirement.

Table #: 2A & 2B **Title: VOC Soil Laboratory Analytical Results & PAH Soil Laboratory Analytical Results**

- Groundwater Analytical Table:** Table(s) that show the most recent analytical results and collection dates, for all monitoring wells and any potable wells for which samples have been collected.

Table #: 4A & 4B **Title: VOC Groundwater Laboratory Analytical Results & PAH GW Laboratory Analytical Results**

- Water Level Elevations:** Table(s) that show the previous four (at minimum) water level elevation measurements/dates from all monitoring wells. If present, free product is to be noted on the table.

Table #: 3 **Title: Groundwater Elevation Data**

IMPROPERLY ABANDONED MONITORING WELLS

For each monitoring well not properly abandoned according to requirements of s. NR 141.25 include the following documents.

Note: *If the site is being listed on the GIS Registry for only an improperly abandoned monitoring well you will only need to submit the documents in this section for the GIS Registry Packet.*

- Not Applicable**

- Site Location Map:** A map showing all surveyed monitoring wells with specific identification of the monitoring wells which have not been properly abandoned.

Note: *If the applicable monitoring wells are distinctly identified on the Detailed Site Map this Site Location Map is not needed.*

Figure #: **Title:**

- Well Construction Report:** Form 4440-113A for the applicable monitoring wells.

- Deed:** The most recent deed as well as legal descriptions for each property where a monitoring well was not properly abandoned.

- Notification Letter:** Copy of the notification letter to the affected property owner(s).

BRRTS #: 03-04-553840

ACTIVITY NAME: HOLIDAY STATION STORE #227

NOTIFICATIONS

Source Property

Not Applicable

Letter To Current Source Property Owner: If the source property is owned by someone other than the person who is applying for case closure, include a copy of the letter notifying the current owner of the source property that case closure has been requested.

Return Receipt/Signature Confirmation: Written proof of date on which confirmation was received for notifying current source property owner.

Off-Source Property

Group the following information per individual property and label each group according to alphabetic listing on the "Impacted Off-Source Property" attachment.

Not Applicable

Letter To "Off-Source" Property Owners: Copies of all letters sent by the Responsible Party (RP) to owners of properties with groundwater exceeding an Enforcement Standard (ES), and to owners of properties that will be affected by a land use control under s. 292.12, Wis. Stats.

Note: Letters sent to off-source properties regarding residual contamination must contain standard provisions in Appendix A of ch. NR 726.

Number of "Off-Source" Letters:

Return Receipt/Signature Confirmation: Written proof of date on which confirmation was received for notifying any off-source property owner.

Deed of "Off-Source" Property: The most recent deed(s) as well as legal descriptions, for all affected deeded **off-source property(ies)**. This does not apply to right-of-ways.

Note: If a property has been purchased with a land contract and the purchaser has not yet received a deed, a copy of the land contract which includes the legal description shall be submitted instead of the most recent deed. If the property has been inherited, written documentation of the property transfer should be submitted along with the most recent deed.

Letter To "Governmental Unit/Right-Of-Way" Owners: Copies of all letters sent by the Responsible Party (RP) to a city, village, municipality, state agency or any other entity responsible for maintenance of a public street, highway, or railroad right-of-way, within or partially within the contaminated area, for contamination exceeding a groundwater Enforcement Standard (ES) and/or soil exceeding a Residual Contaminant Level (RCL) or a Site Specific Residual Contaminant Level (SSRCL).

Number of "Governmental Unit/Right-Of-Way Owner" Letters: 1



ENVIRONMENTAL & REGULATORY SERVICES DIVISION
BUREAU OF PECFA
P.O. Box 8044
Madison, Wisconsin 53708-8044
TTY: Contact Through Relay
Fax: (608) 267-1381
Scott Walker, Governor
Paul F. Jadin, Secretary

January 5, 2011

Bruce Anthony
Holiday Companies
4567 W 80th St
PO Box 1224
Minneapolis, MN 55440

RE: Final Closure with Land Use Limitation to Address Direct Contact Risk

Commerce # 54891-1139-06-A DNR BRRTS # 03-04-553840
Holiday Station Store #227, 606 W Bayfield St, Washburn

Dear Mr. Anthony:

The Wisconsin Department of Commerce (Commerce) has determined that this site does not pose a significant threat to human health and the environment as long as current and subsequent property owners adhere to the following limitation:

The barrier cap must be maintained in accordance with the enclosed maintenance plan.

Commerce has the authority per section 292.12(2), Wis. Stats., to require the maintenance of a barrier cap at this property. Failure to adhere to this limitation may result in financial penalties from \$10 to \$5,000 per day in accordance with section 292.99(1), Wis. Stats. Commerce may conduct inspections to ensure compliance with the maintenance plan. In the future, you may request that Commerce review *new* information to determine if the cap requirement can be changed or removed.

The following activities are prohibited on any portion of the property where the barrier is required unless prior written approval has been obtained from Commerce: 1) removal of the existing barrier; 2) replacement with another barrier; 3) excavating or grading of the land surface; 4) filling on capped or paved areas; 5) plowing for agricultural cultivation; or 6) construction or placement of a building or other structure.

This site is now listed as "closed" on the Commerce database and will be included on the Department of Natural Resources (DNR) Geographic Information System (GIS) Registry of Closed Remediation Sites to address residual soil and groundwater contamination. To review all sites on the GIS Registry web page, visit <http://dnr.wi.gov/org/aw/rr/gis/index.htm>. It is in your best interest to keep all documentation related to the environmental activities at your site.

If you intend to construct or reconstruct a potable well on this property, you must get prior DNR approval. To obtain approval, complete Form 3300-254, GIS Registry Site Well Approval Application, and submit it to the DNR Drinking and Groundwater program's regional water supply specialist. This form can be obtained on-line at <http://www.dnr.state.wi.us/org/water/dwg/3300254.pdf> or through the GIS Registry web address listed above.

All current and future owners and occupants of the property need to be aware that excavation of contaminated soil may pose a hazard. Special precautions may be needed to prevent inhalation, ingestion or dermal contact with the residual contamination when it is removed. If soil is excavated, the

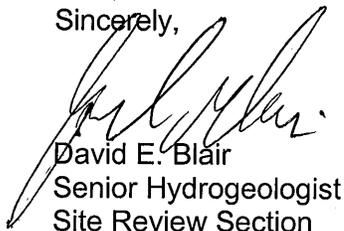
property owner at the time of excavation must have the soil sampled and analyzed to determine if residual contamination remains. If sampling confirms that contamination is present, the property owner at the time of excavation must determine whether the material would be considered solid or hazardous waste and ensure that any storage, treatment or disposal is in compliance with applicable State regulations and standards.

Depending on site-specific conditions, construction over contaminated materials may result in vapor migration into enclosed structures or along newly placed underground utility lines. The potential for vapor inhalation and mitigation should be evaluated when planning any future redevelopment, and measures should be taken to ensure the continued protection of public health, safety, welfare and the environment at the site.

Costs for sampling and excavation activities conducted after case closure are not eligible for PECFA reimbursement. However, if it is determined that any undisturbed remaining petroleum contamination poses a threat, the case may be reopened and further investigation or remediation may be required. If this case is reopened, any original claim under the PECFA fund would also reopen and you may apply for assistance to the extent of remaining eligibility.

Thank you for your efforts to protect Wisconsin's environment. If you have any questions, please contact me in writing at the letterhead address or by telephone at (608) 261-2515.

Sincerely,



David E. Blair
Senior Hydrogeologist
Site Review Section

Enclosure

cc: Tom Muhich, Environmental Troubleshooters

CONCRETE CAP MAINTENANCE PLAN
Holiday StationStore #227
606 W. Bayfield Street
Washburn, WI 54891
BRRTs No. 03-04-553840

Prepared For:

Holiday Companies
P.O. Box 1224
Minneapolis, MN 55440

Prepared By:

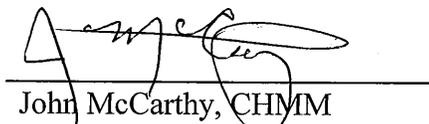
Environmental Troubleshooters, Inc.
416 Fayal Road, Suite A
Eveleth, MN 55734

ET# 09-0607

October 26, 2010



Thomas G. Muhich, PG, CHMM
Regional Manager



John McCarthy, CHMM
Geologist

TABLE OF CONTENTS

- 1.0 INTRODUCTION and DEFINITION OF GENERAL RESPONSIBILITIES
 - 1.1 Introduction
 - 1.2 Purpose and Intent
 - 1.3 Description of the Site and Contamination
 - 1.4 Description of Concrete Cap to be Maintained
 - 1.5 Key Personnel and Their Responsibilities

- 2.0 INSPECTION & MAINTENANCE
 - 2.1 Annual Inspection
 - 2.2 Maintenance Activities
 - 2.3 Prohibition of Activities and Notification of WDNR Prior to Actions Affecting the Concrete Cap
 - 2.4 Amendment or Withdrawal of Maintenance Plan

FIGURES

- Figure 1 Site Location Map
- Figure 2 Benzo(a)pyrene Distribution Map

ATTACHMENTS

- Attachment 1 Inspection & Maintenance Checklist

1.0 INTRODUCTION AND DEFINITION OF GENERAL RESPONSIBILITIES

1.1 Introduction

This Concrete Cap Maintenance Plan has been prepared for the Holiday Stationstore #227 property located at 606 West Bayfield Street in Washburn, Wisconsin in accordance with the requirements of s. NR 724.13(2), Wisconsin Administrative Code. The maintenance activities relate to the existing concrete surface occupying the area over the contaminated soil and groundwater plume on-site. This plan is required to obtain closure of the petroleum release site file. This plan should be periodically reviewed and modified to reflect changes in site use conditions.

More site-specific information about this property may be found in:

- The case file in the DNR Northern Region office;
- BRRTS on the Web (DNR's internet based database of contaminated sites): <http://botw.dnr.state.wi.us/botw/SetUpBasicSearchForm.do>;
- GIS Registry PDF file for further information on the nature and extent of contamination: <http://dnrmaps.wisconsin.gov/imf/imfApplyTheme.jsp?index=1>;
and
- The DNR project manager of Bayfield County

1.2 Purpose and Intent

The purpose of the maintenance plan is to provide Holiday Companies with the basic guidelines to:

- Perform routine inspections
- Properly document the inspections
- Properly document maintenance related costs
- Plan for future development of the site

1.3 Description of the Site and Contamination

The Holiday Stationstore #227 is located in the NW ¼, of the NW ¼, of Section 5, Township 48 North, Range 4 West, in the City of Washburn, Bayfield County, Wisconsin. Figure 1 depicts the site location. Figure 2 depicts the site plan view and the benzo (a) pyrene contamination distribution. Soil contaminated by benzo(a) pyrene is located at a depth of two (2) to four (4) feet near the southeast corner of the dispenser island.

1.4 Description of the Concrete Cap to be Maintained

The cap consists of a six (6) inch thick slab of concrete. The concrete surface to be maintained under this plan includes the area within approximately 20 feet of the southeast dispenser, and includes the canopy footings adjacent to the dispenser. The area to be maintained is the area within the 0.0088 mg/kg contour on Figure 2 (attached).

The concrete slab over the contaminated soil serves as a barrier to prevent direct human contact with residual soil contamination that might otherwise pose a threat to human health. Based on the current and future use of the property, the barrier should function as intended unless disturbed.

1.5 Key Personnel and Their Responsibilities

Holiday Companies personnel or employees of Holiday Stationstore #227 will be responsible for both the routine and other preventative maintenance of the parking lot asphalt cap. These personnel are responsible for annual inspections to confirm that the asphalt has not been compromised. The inspector should notify the store manager or the Holiday Companies Maintenance Dept. of the need for maintenance if concrete cap conditions have deteriorated.

2.0 INSPECTION & MAINTENANCE

Inspection and maintenance procedures are needed to ensure the public safety. Inspection is a requirement of maintenance. The operator can only reasonably maintain the integrity of the concrete cap through active inspection. The following sections should be used to guide routine inspection and maintenance actions.

2.1 Annual Inspection

The concrete cap overlying the contaminated soil as depicted in Figure 2 will be inspected once a year, normally during the spring after all snow and ice is gone, for deterioration, cracks and other potential problems that can cause exposure to underlying soils. The inspections will be performed by the property owner or their designated representative. The inspections will be performed to evaluate damage due to settling, exposure to weather, wear from traffic, increasing age and other factors. Any area where soils have become or are likely to become exposed will be documented. A log of the inspections and any repairs will be maintained by the property owner and is included as Attachment 1, Cap Inspection Log. The log will include recommendations for necessary repair of any areas where underlying soils are exposed. Once repairs are completed, they will be documented in the inspection log. A copy of the inspection log will be kept at the address of the property owner and available for submittal or inspection by the Wisconsin Department of Natural Resources (WDNR) representatives upon their request.

2.2 Maintenance Activities

If problems are noted during the annual inspections or at any other time during the year, repairs will be scheduled as soon as practical. Repairs can include patching and filling or larger resurfacing or construction operations. In the event that necessary maintenance activities expose the underlying soil, the owner must inform maintenance workers of the direct contact exposure hazard and provide them with appropriate personal protection equipment ("PPE"). The owner must also sample any soil that is excavated from the site

prior to disposal to ascertain if contamination remains. The soil must be treated, stored and disposed of by the owner in accordance with applicable local, state and federal law.

In the event the concrete cap overlying the contaminated soil is removed or replaced, the replacement barrier must be equally impervious. Any replacement barrier will be subject to the same maintenance and inspection guidelines as outlined in this Maintenance Plan unless indicated otherwise by the WDNR or its successor.

The property owner, in order to maintain the integrity of the concrete cap, will maintain a copy of this Maintenance Plan on-site and make it available to all interested parties (i.e. on-site employees, contractors, future property owners, etc.) for viewing.

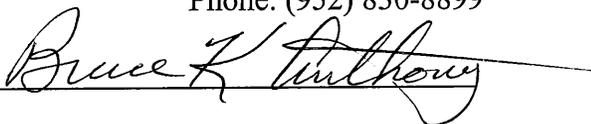
2.3 Prohibition of Activities and Notification of WDNR Prior to Actions Affecting the Concrete Cap

The following activities are prohibited on any portion of the property where concrete cap is required as shown on the attached map, unless prior written approval has been obtained from the Wisconsin Department of Natural Resources: 1) removal of the existing barrier; 2) replacement with another barrier; 3) excavating or grading of the land surface; 4) filling on capped or paved areas; 5) plowing for agricultural cultivation; or 6) construction or placement of a building or other structure.

2.4 Amendment or Withdrawal of Maintenance Plan

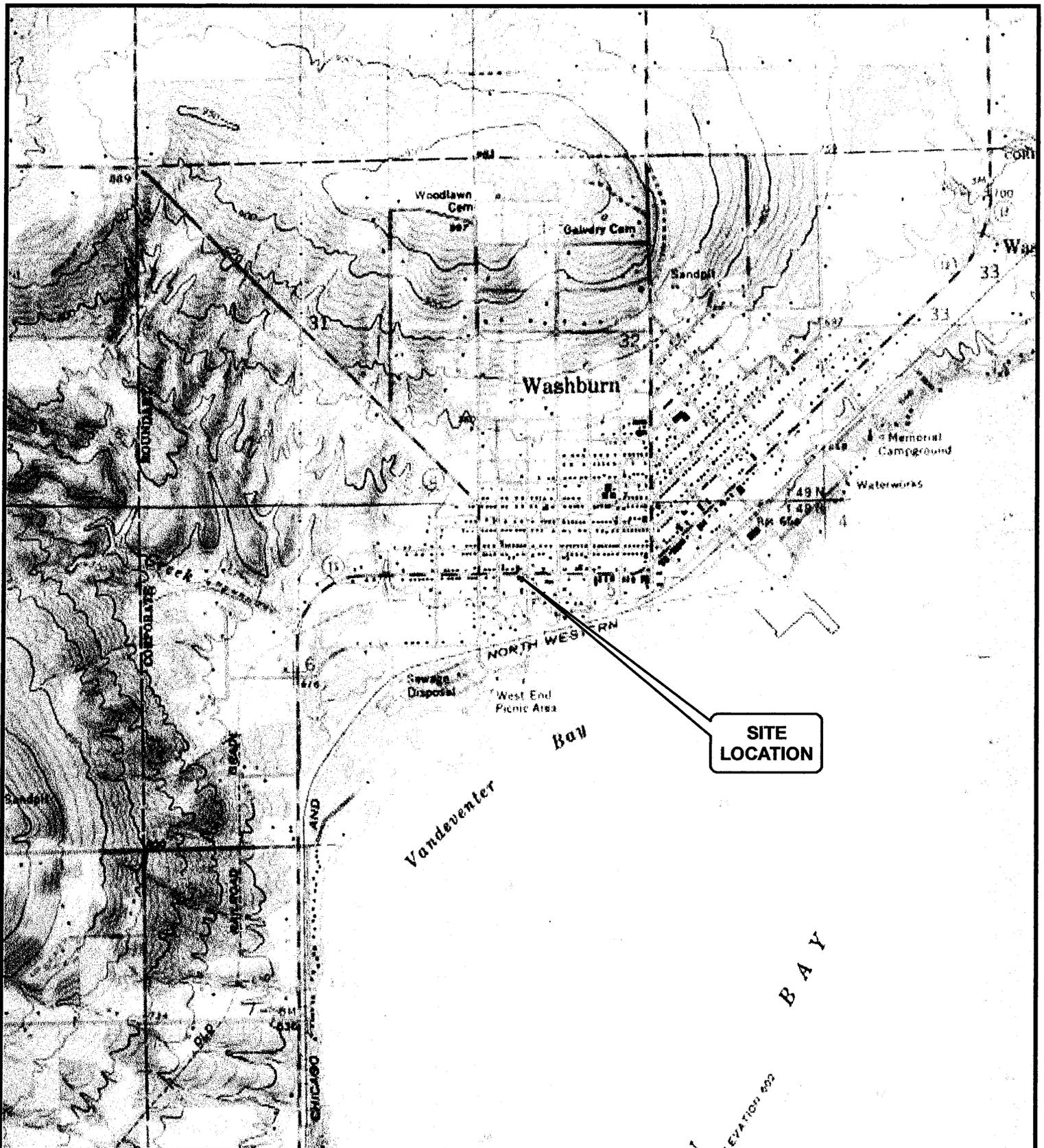
This Maintenance Plan can be amended or withdrawn by the property owner and its successors with the written approval of WDNR.

Site Owner and Operator: Holiday Companies
Attention: Bruce Anthony
P.O. Box 1224
Minneapolis, MN 55440
Phone: (952) 830-8899

Signature: 

WDNR Contact: Christopher Saari
2501 Golf Course Road
Ashland, WI 54806
Phone (715) 685-2920

Consultant: Tom Muhich, PG, CHMM
Environmental Troubleshooters, Inc.
416 Fayal Road, Suite A
Eveleth, MN 55734
Phone (218) 744-0128



**SITE
LOCATION**



SCALE: 1/24,000
1 inch = 2,000 feet

FIGURE 1
Site Location Map

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607

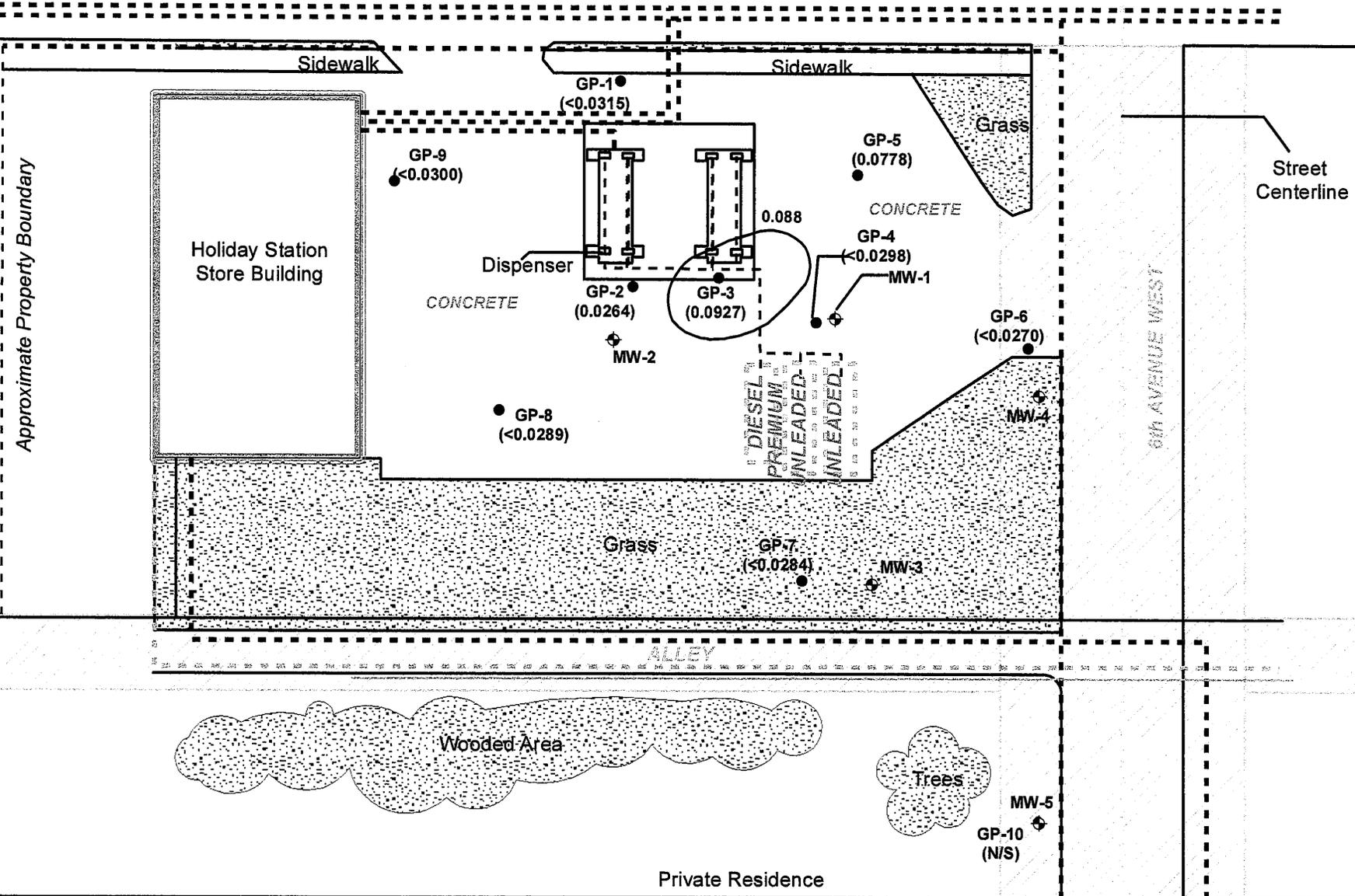
DATE: 08/11/2009 **CREATED BY: MLT**

FILE NAME: //GIS/2009Projects/09-0607
HolidayStationStore#227/Figure1



Source: USGS Washburn and Long Island, Wisconsin 7 1/2" Quadrangle Map

BAYFIELD STREET



Legend

- Non-Industrial Direct Contact RCL Contour (mg/kg)
- Soil Boring Locations
- ⊕ Monitoring Wells
- - - Property_Boundary
- ⋯ Communication
- Electric
- Gas
- Tank Piping
- ⊠ Tanks
- ▨ City Right of Way
- Overhead Communication
- Overhead Electric
- Sewer
- Water
- () - Benzo(a)pyrene Concentration in mg/kg
- (N/S) - Not Sampled



FIGURE 4d
Soil Benzo(a)pyrene Distribution Map

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607	CREATED BY: MLT
DATE: 10/29/2010	FILE NAME: //GIS/2009Projects/09-0607 HolidayStationStore#227/Figure4d



CONCRETE CAP INSPECTION AND MAINTENANCE LOG

Inspection Date	Inspector	Condition of Cap	Recommendations	Has recommended maintenance from previous inspection been implemented?



ENVIRONMENTAL & REGULATORY SERVICES DIVISION
BUREAU OF PECFA
P.O. Box 8044
Madison, Wisconsin 53708-8044
TTY: Contact Through Relay
Fax: (608) 267-1381
Jim Doyle, Governor
Aaron Oliver, Secretary

November 24, 2010

Bruce Anthony
Holiday Companies
4567 W 80th St
PO Box 1224
Minneapolis, MN 55440

RE: Case Closure Consideration with Proposed Land Use Limitation for Direct Contact Risk
Commerce # 54891-1139-06-A DNR BRRTS # 03-04-553840
Holiday Station Store #227, 606 W Bayfield St, Washburn

Dear Mr. Anthony:

The Wisconsin Department of Commerce (Commerce) has reviewed the request for case closure prepared by your consultant, Environmental Troubleshooters, for the site referenced above. It is understood that residual soil and groundwater contamination remain on site. This letter serves as written notice that no further investigation or remedial action is necessary.

Please be aware that compliance with the requirements of this letter is a responsibility to which you, and any subsequent property owners must adhere, pursuant to section 292.12, Wisconsin Stats. If these requirements are not followed, Commerce may take enforcement action under section 292.11, Wis. Stats., to ensure compliance with the specified requirements, limitations or other conditions related to the property, or this case may be reopened pursuant to section NR 726.09, Wis. Administrative Code. It is Commerce's intent to conduct inspections in the future to ensure that the conditions included in this letter, including compliance with the referenced maintenance plan, are met.

Well Abandonment Requirements

All five monitoring wells must be properly abandoned within 60 days and the appropriate documentation forwarded to Commerce at the letterhead address within 120 days of the date of this letter. Noncompliance with the abandonment requirement and deadline can result in enforcement action and financial penalties. A final closure letter will be sent after the abandonment requirements have been met.

Land Use Limitation Requirement to Address Direct Contact Risk

Commerce has determined that this site does not pose a significant threat to the environment and human health as long as the barrier cap at this property is maintained. Residual petroleum concentrations in soil exceeding standards for the protection of human health from direct contact with contaminated soil remain in the area between the dispenser island and the UST cavity. Therefore, the existing barrier cap must be maintained in accordance with the maintenance plan provided to prevent direct contact exposure to shallow contaminated soil. A site figure that indicates the approximate area with shallow residual petroleum contamination in soil and the barrier cap maintenance plan are enclosed for your review.

This limitation must be adhered to by the current property owner and any subsequent owner. Failure to adhere to this restriction may result in financial penalties from \$10 to \$5,000 per day in accordance with section 292.99(1), Wis. Stats.

The following activities are prohibited on any portion of the property where the concrete barrier cap is required, as identified on the attached map, unless prior written approval has been obtained from Commerce: 1) removal of the existing barrier; 2) replacement with another barrier; 3) excavating or grading of the land surface; 4) filling on capped or paved areas; 5) plowing for agricultural cultivation; or 6) construction or placement of a building or other structure.

Acceptance of the limitation to be imposed on the property makes it unnecessary to conduct additional soil remediation activities on the property at this time. In the future, you may request that Commerce review any *new* information to determine if the barrier requirement or maintenance plan can be changed or removed. If you do not want this limitation on your property, you must contact the undersigned to determine what remedial activities will be required, at your own expense, to close this case without the cap maintenance requirement.

GIS Registry of Closed Remediation Sites

Information submitted with your closure request will be included on the Department of Natural Resources (DNR) GIS Registry of Closed Remediation Sites. All sites on the Registry can be viewed via the Remediation and Redevelopment (RR) Sites Map at <http://dnr.wi.gov/org/aw/rr/gis/index.htm>. Because residual contamination remains at the time of case closure, if you intend to construct or reconstruct a potable well on this property, you must get prior DNR approval.

Residual Soil Contamination

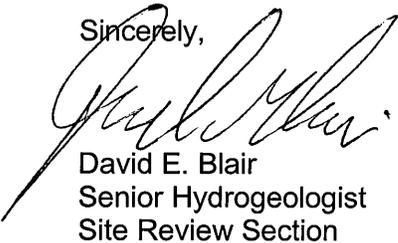
All current and future owners and occupants of the property need to be aware that excavation of contaminated soil may pose a hazard. Special precautions may be needed to prevent inhalation, ingestion or dermal contact with the residual contamination when it is removed. If soil is excavated, the property owner at the time of excavation must have the soil sampled and analyzed to determine if residual contamination remains. If sampling confirms that contamination is present, the property owner at the time of excavation must determine whether the material would be considered solid or hazardous waste and ensure that any storage, treatment or disposal is in compliance with applicable standards and rules. Costs for sampling and excavation activities conducted after the date of this letter are not eligible for PECFA reimbursement.

Claim Submittal Requirement

Timely filing of your final PECFA claim (if applicable) is encouraged. If your claim is not received within 120 days of the date of this letter, interest costs incurred after 60 days of the date of this letter will not be eligible for PECFA reimbursement.

Thank you for your efforts to protect Wisconsin's environment. If you have any questions, please contact me in writing at the letterhead address or by telephone at (608) 261-2515.

Sincerely,



David E. Blair
Senior Hydrogeologist
Site Review Section

Enclosure

cc: Tom Muhich, Environmental Troubleshooters, Inc.

DOCUMENT NO.

365855

WARRANTY DEED—By Corporation
STATE OF WISCONSIN—FORM 10
THIS SPACE RESERVED FOR RECORDING DATA
REGISTERS OFFICE } S.S. ✓
Bayfield County, Wis.

RECORDED AT 2:30 P.M.
ON AUG 22 1986 IN
Vol. 438 of REC Page 144

Otto Korpela

REGISTER OF DEEDS

RETURN TO R.M. Spears

PA. 400 PATTX 75.00
W-7

THIS INDENTURE, Made by RAY'S AUTOMOTIVE ENTERPRISES, INC.

_____ a Corporation
duly organized and existing under and by virtue of the laws of the State of Wisconsin, grantor,
of Bayfield County, Wisconsin, hereby conveys and warrants to
ERICKSON'S BARRON CO., a Wisconsin Corporation

grantee, of Bayfield County, Wisconsin, for the sum of
ONE DOLLAR AND OTHER VALUABLE CONSIDERATIONS

the following tract of land in Bayfield County, State of Wisconsin:

Lots Six (6) through Sixteen (16) inclusive, Block Twelve (12),
Original Townsite of Washburn

TRANSFER FEE \$ <u>75.00</u>	FEE EXEMPT # _____
RENTAL WEATHERIZATION CODE YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> EXEMPTION # <u>W-7</u>	

In Witness Whereof, the said grantor has caused these presents to be signed by Raymond E. Dickerhoff,
its President, and countersigned by Jon DeMars, its Secretary, at Washburn,
Wisconsin, and its corporate seal to be hereunto affixed, this 22nd day of August, A. D., 19 86.

SIGNED AND SEALED IN PRESENCE OF

Beverly J. Gaber

Beverly U. Gaber

Robert M. Spears

Robert M. Spears

RAY'S AUTOMOTIVE ENTERPRISES, INC.

Raymond E. Dickerhoff Corporate Name
President

Raymond E. Dickerhoff

COUNTERSIGNED:

Jon DeMars Secretary

Jon DeMars

STATE OF WISCONSIN,
Bayfield County, } ss.

Personally came before me, this 22nd day of August, A. D., 19 86, Raymond E. Dickerhoff
President, and Jon DeMars Secretary of the above

named Corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such President
and Secretary of said Corporation, and acknowledged that they executed the foregoing instrument as such officers as the
deed of said Corporation, by its authority.

This instrument drafted by

Atty. Robert M. Spears



Robert M. Spears

Notary Public Bayfield County, Wis.

My Commission (任期) (s) permanent

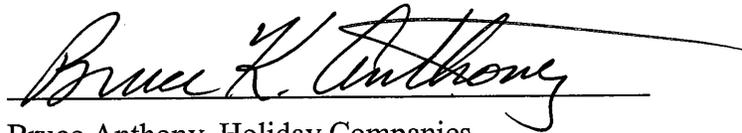
Date 7/29/10

David Blair
Site Review Section
Wisconsin Dept. of Commerce
201 W. Washington Avenue
P.O. Box 8044
Madison, WI 53708-8044

RE: Statement of Legal Description Accuracy
Holiday StationStore #227
606 W. Bayfield Street, Washburn, WI 54891
BRRTs No. 03-04-553840

Dear Mr. Blair:

I confirm that the attached legal description accurately describes the correct contaminated property.

A handwritten signature in black ink, reading "Bruce K. Anthony", written over a horizontal line.

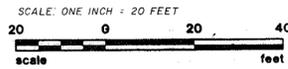
Bruce Anthony, Holiday Companies

Cc: Tom Muhich, Environmental Troubleshooters, Inc.

MAP OF SURVEY
 LOTS 6 - 16 OF BLOCK 12 OF THE ORIGINAL PLAT
 OF THE CITY OF WASHBURN, WISCONSIN

LEGEND

- 1" X 48" iron pipe set this survey
- △ P.K. Nail set this survey
- 60 penny spike set this survey
- ⊙ Manhole
- ▬ Concrete sidewalk



Survey completed - July 3, 1986
 Map completed - July 11, 1986



GENERAL NOTES

Elevations are assumed, based on the rim of the manhole at the centerlines of Bayfield Street and Sixth Avenue being 100.00.

- T— Indicates utility line:
 T - Telephone, TV - Cable television, P - Power,
 W - Water, G - Natural gas, S - Sanitary sewer,
 ST - Storm sewer

The location of all utilities shown on this map are approximate. The exact location of the underground utilities MUST be determined before any construction begins. For the exact location of the underground utilities and for more information on all utilities, contact the following.

Electrical power and Natural Gas: Lake Superior District Power Company
 101 West Second St.
 Ashland, WI. 54806
 Phone 715-682-5221
 Washburn, WI. 54891
 Phone 715-373-2034

Building Permit: Wayne Lowe, City Clerk
 118 Washington Ave.
 Washburn, WI. 54891
 Phone 715-373-5440

NOTE

SURVEYOR'S CERTIFICATE

I, Timothy E. Oksiuta, registered land surveyor in the State of Wisconsin, hereby certify:

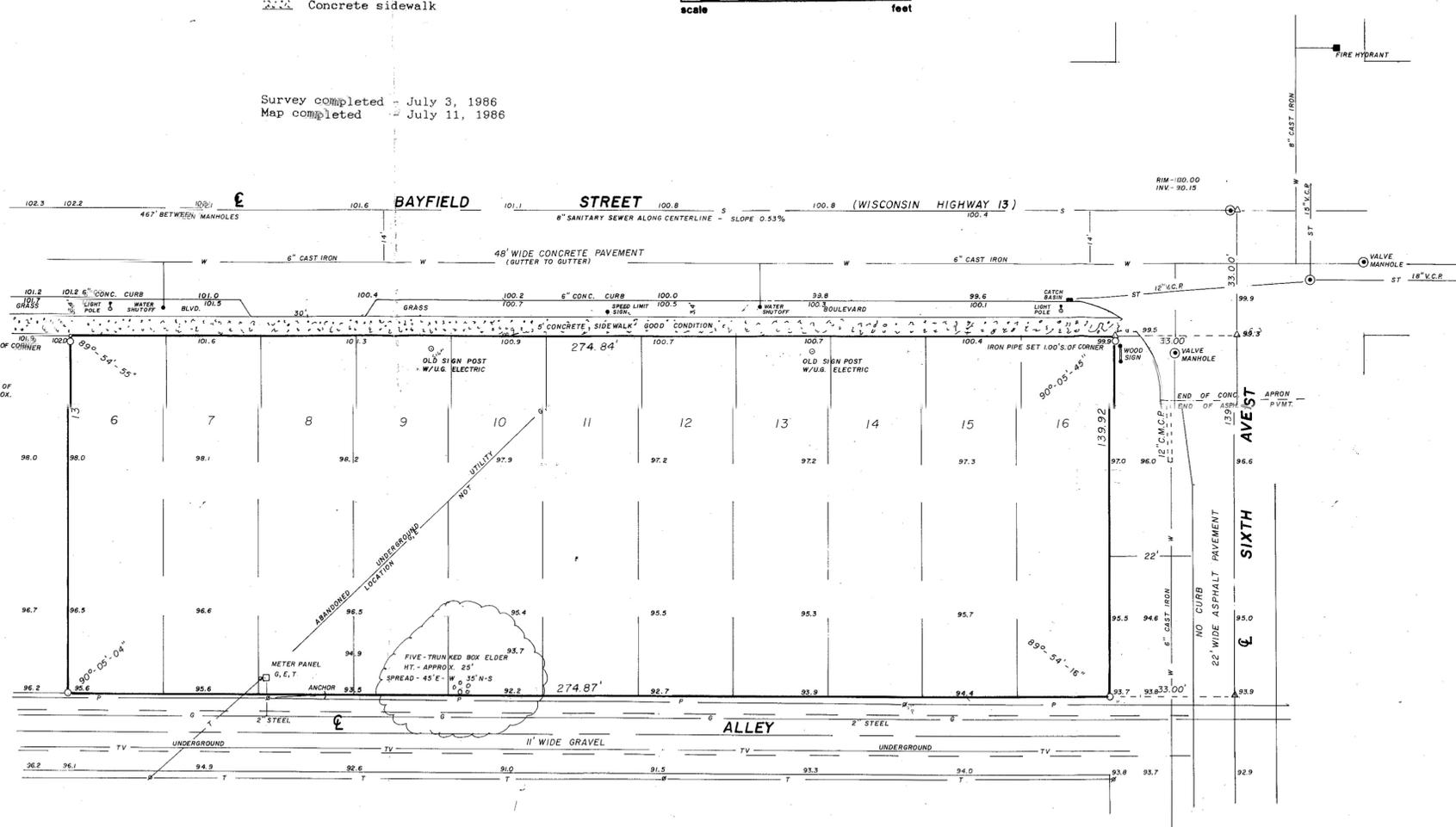
That on the order of DAVID D. HOESCHEN, Real Estate Agent for Erickson's Barton Company, I have made a survey of Lots 6 - 16 of Block 12 of the Original Plat of the City of Washburn, Wisconsin;

That this map is a true representation of that survey;

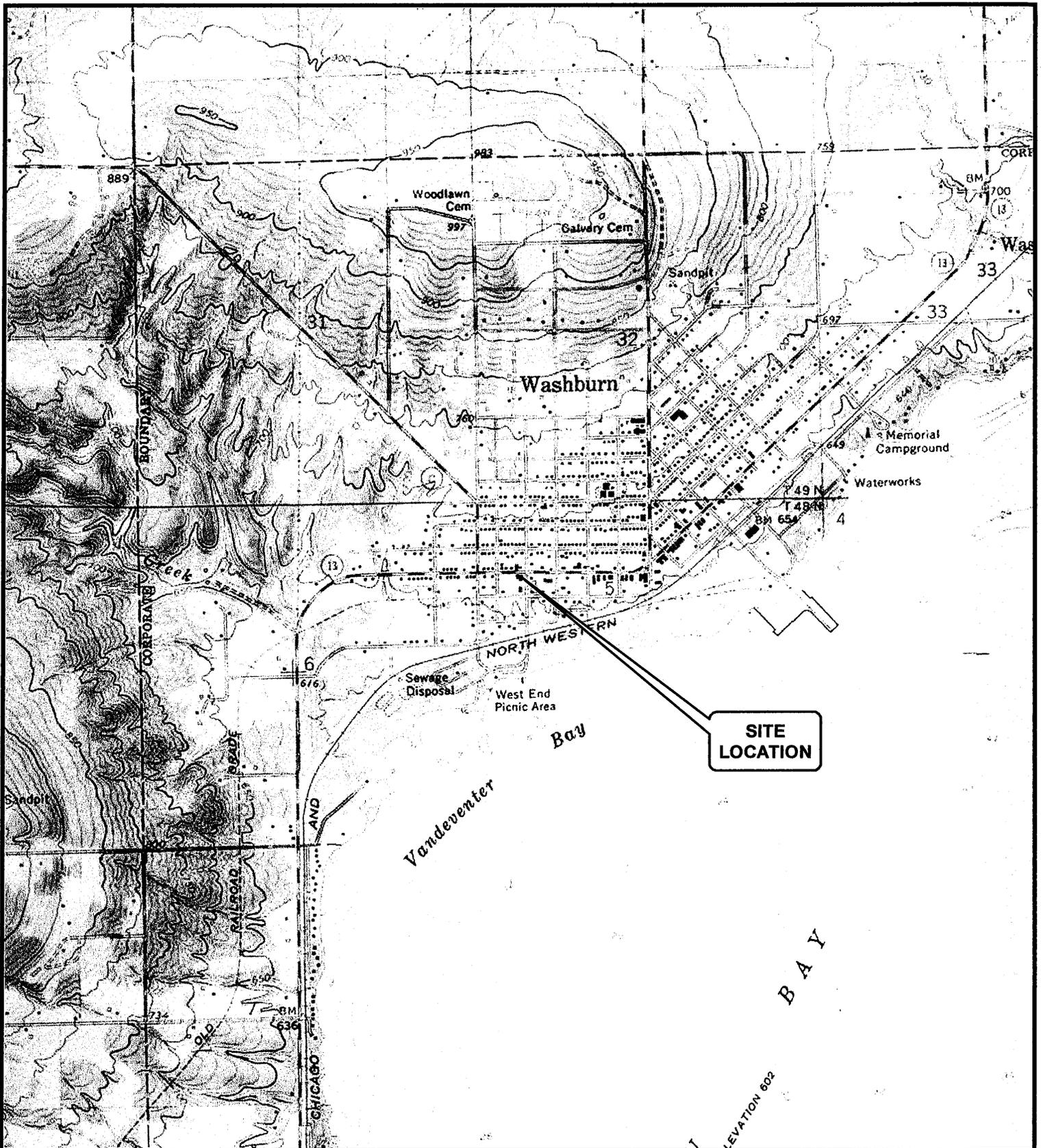
That to the best of my knowledge there has never been water or rock found less than 20 feet below the surface of the property; and

That said survey and map are correct to the best of my knowledge and belief.

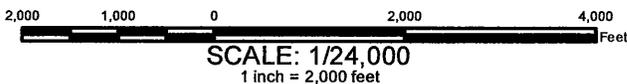
Timothy E. Oksiuta Dated this 11th day of July, 1986.
 Timothy E. Oksiuta
 RLS No. S-1550



ALL LOTS ARE RECORDED AS 25' X 140'



**SITE
LOCATION**



Source: USGS Washburn and Long Island, Wisconsin 7 1/2" Quadrangle Map



FIGURE 1

Site Location Map

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607

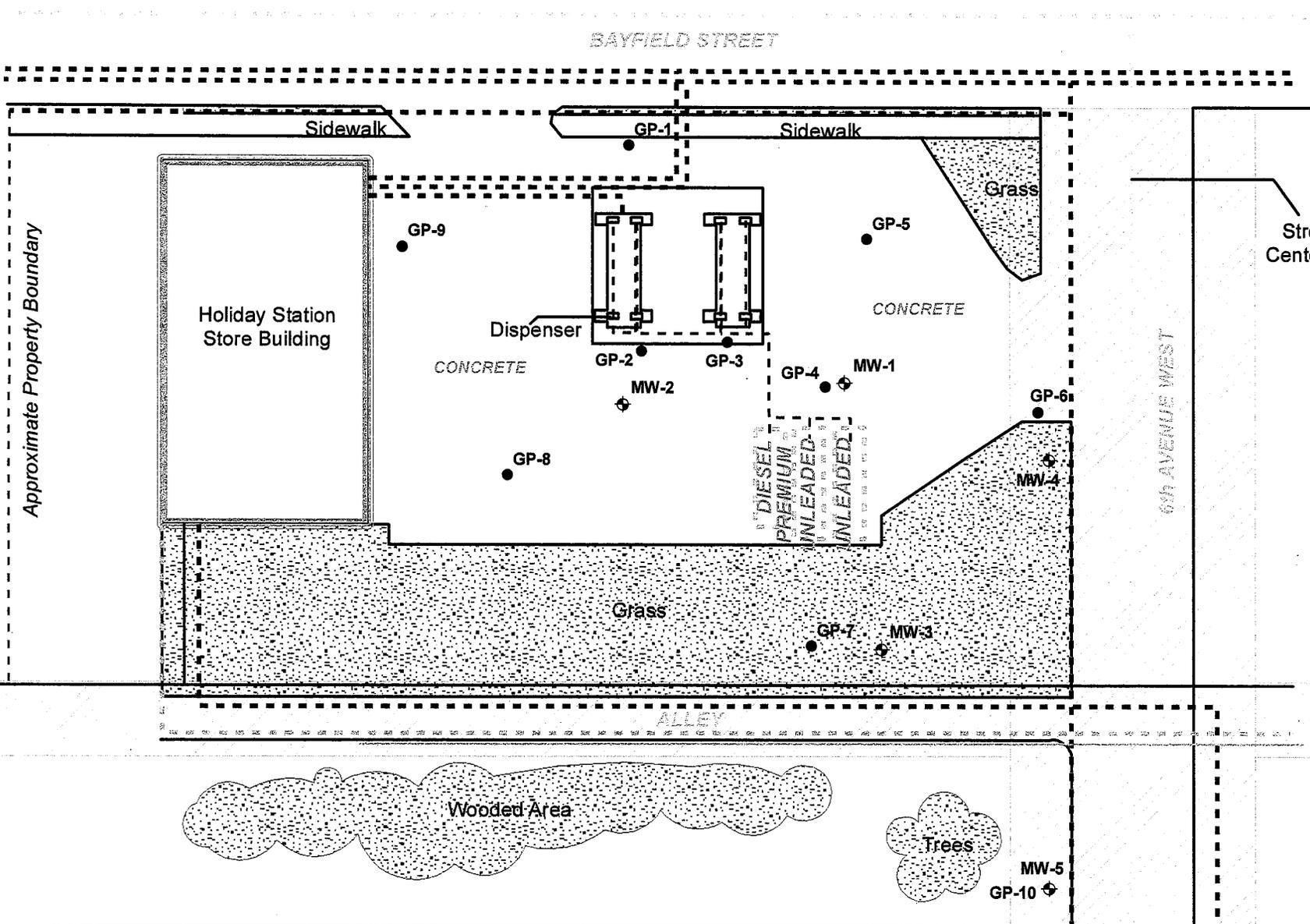
DATE: 08/11/2009

CREATED BY: MLT

FILE NAME: //GIS/2009Projects/09-0607

HolidayStationStore#227/Figure1





Legend

- ◆ Monitoring Wells
- Soil Boring Locations
- - - Property_Boundary
- ⋯ Communication
- ⋯ Electric
- - - Gas
- ⋯ Overhead Communication
- ⋯ Overhead Electric
- ⋯ Sewer
- ⋯ Water
- - - Tank Piping
- ▨ Tanks
- ▨ City Right of Way



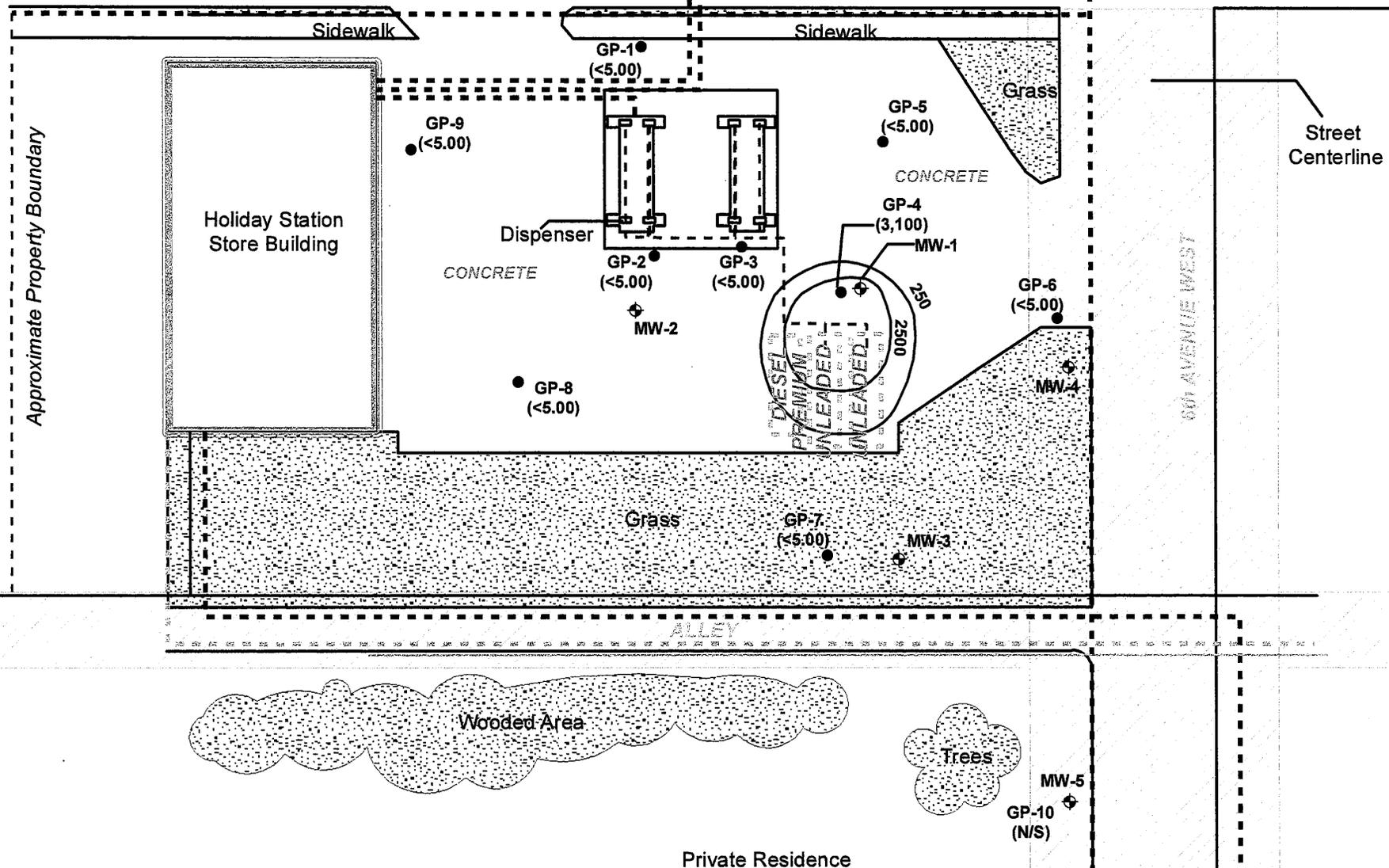
FIGURE 2
Site Plan

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607	CREATED BY: MLT
DATE: 10/28/2010	FILE NAME: //GIS/2009Projects/09-0607 HolidayStationStore#227/Figure2



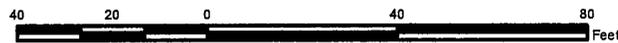
BAYFIELD STREET



Legend

- Generic RCL Contour (mg/kg)
- Soil Boring Locations
- ⊕ Monitoring Wells
- - - Property_Boundary
- Communication
- Electric
- - - Gas
- - - Tank Piping
- Overhead Communication
- Overhead Electric
- Sewer
- Water
- Tanks
- City Right of Way

() - GRO Concentration in mg/kg
(N/S) - Not Sampled



SCALE: 1/480
1 inch = 40 feet



FIGURE 4a
Soil GRO Distribution Map

Holiday Station #227
Washburn, Wisconsin

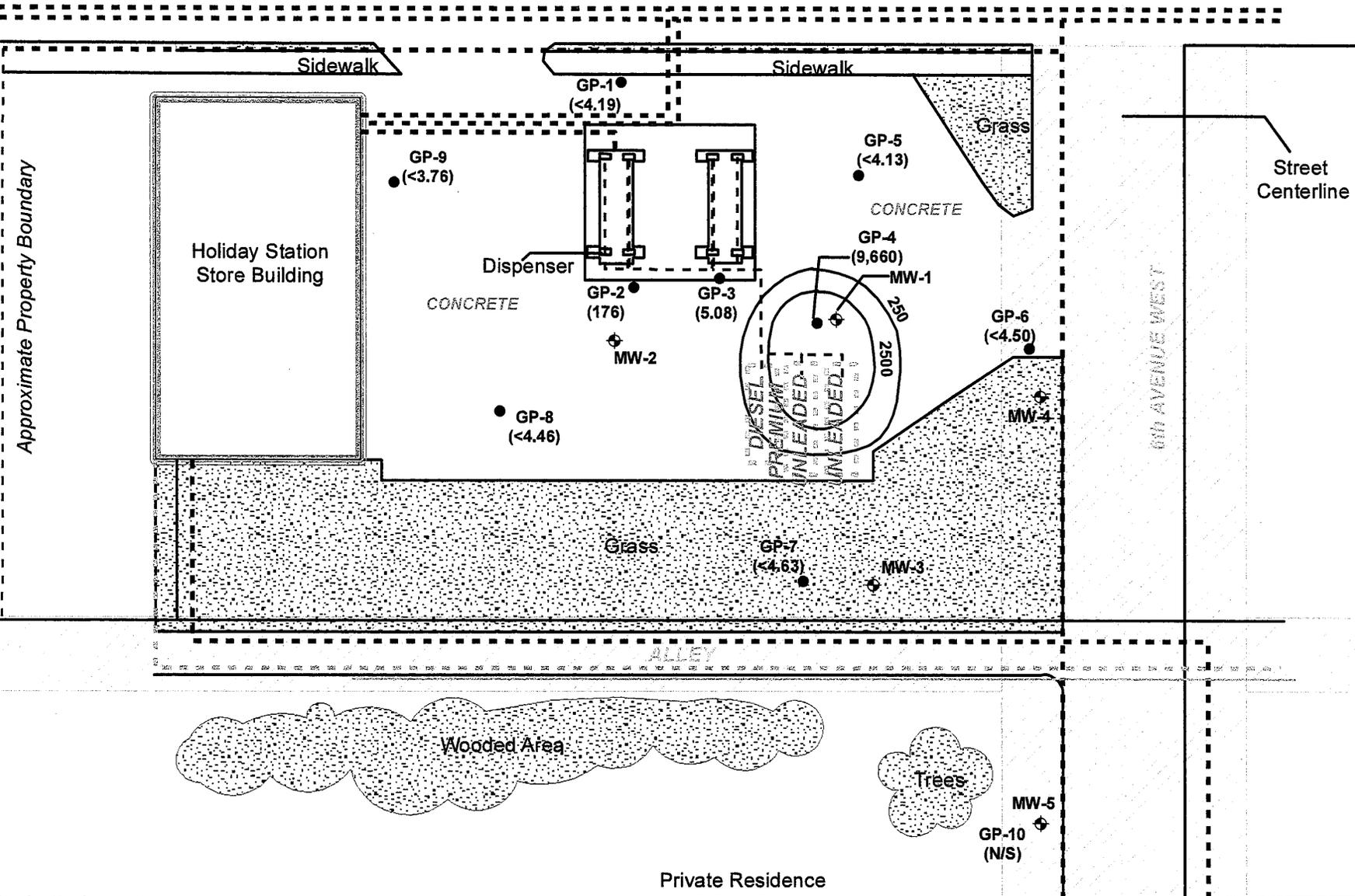
PROJECT #: 09-0607

DATE: 10/28/2010 CREATED BY: MLT

FILE NAME: //GIS/2009Projects/09-0607
HolidayStationStore#227/Figure4a



BAYFIELD STREET



Legend

- Generic RCL Contour (mg/kg)
- Soil Boring Locations
- ⊕ Monitoring Wells
- - - Property_Boundary
- Communication
- Electric
- - - Gas
- - - Tank Piping
- Overhead Communication
- Overhead Electric
- Sewer
- Water
- Tanks
- City Right of Way

() - DRO Concentration in mg/kg
(N/S) - Not Sampled



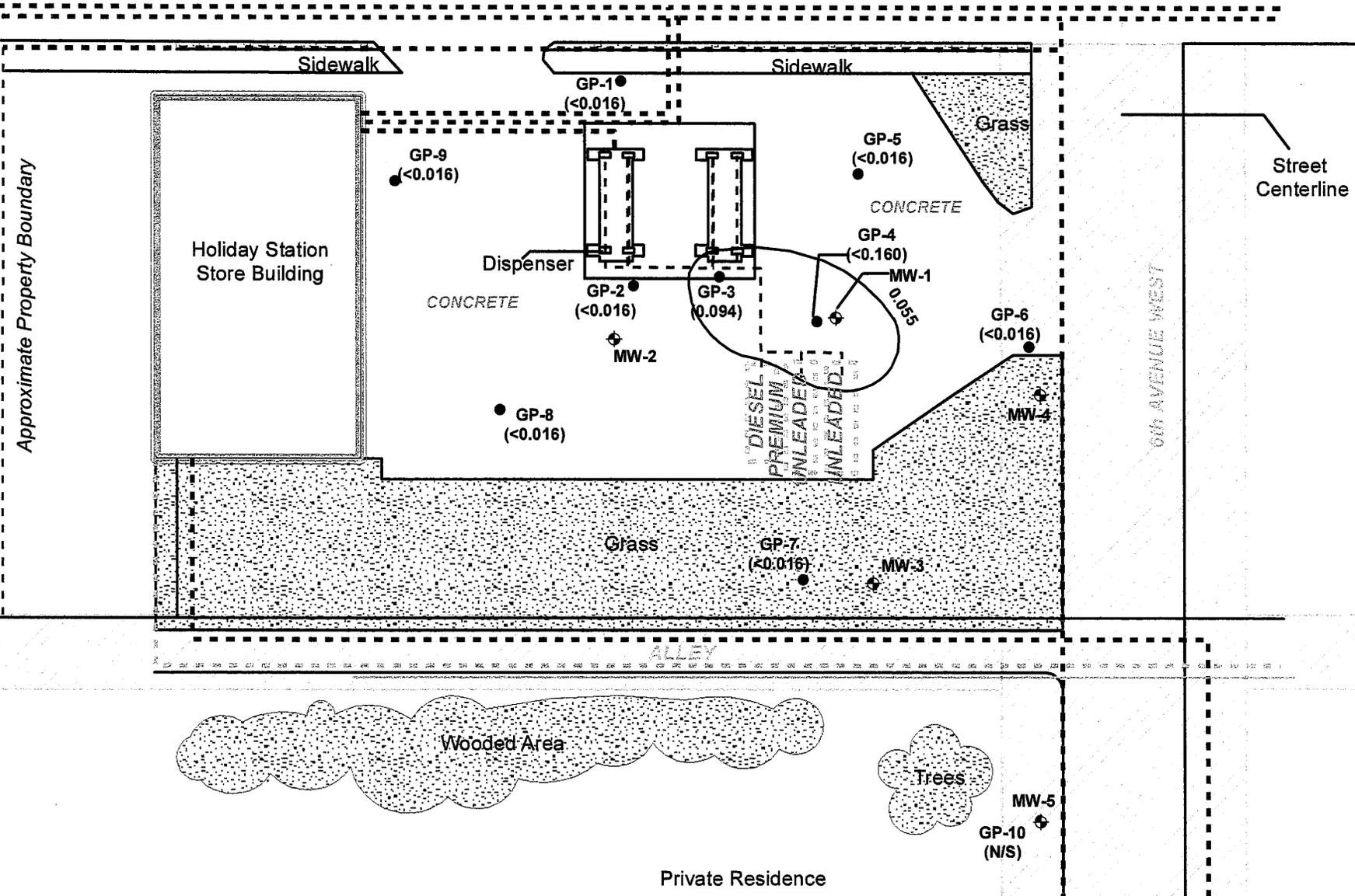
FIGURE 4b
Soil DRO Distribution Map

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607	CREATED BY: MLT
DATE: 10/29/2010	FILE NAME: //GIS/2009Projects/09-0607 HolidayStationStore#227/Figure4b



BAYFIELD STREET



Approximate Property Boundary

Holiday Station Store Building

Sidewalk

Sidewalk

Grass

CONCRETE

CONCRETE

Grass

DIESEL PREMIUM UNLEADED

Wooded Area

Trees

Private Residence

Street Centerline

6th AVENUE WEST

ALLEY

Legend

- Generic RCL Contour (mg/kg)
- Soil Boring Locations
- ⊕ Monitoring Wells
- - - Property_Boundary
- ⋯ Communication
- - - Electric
- - - Gas
- - - Tank Piping
- ⋯ Overhead Communication
- Overhead Electric
- - - Sewer
- - - Water
- ▨ Tanks
- ▨ City Right of Way

() - Benzene Concentration in mg/kg
(N/S) - Not Sampled



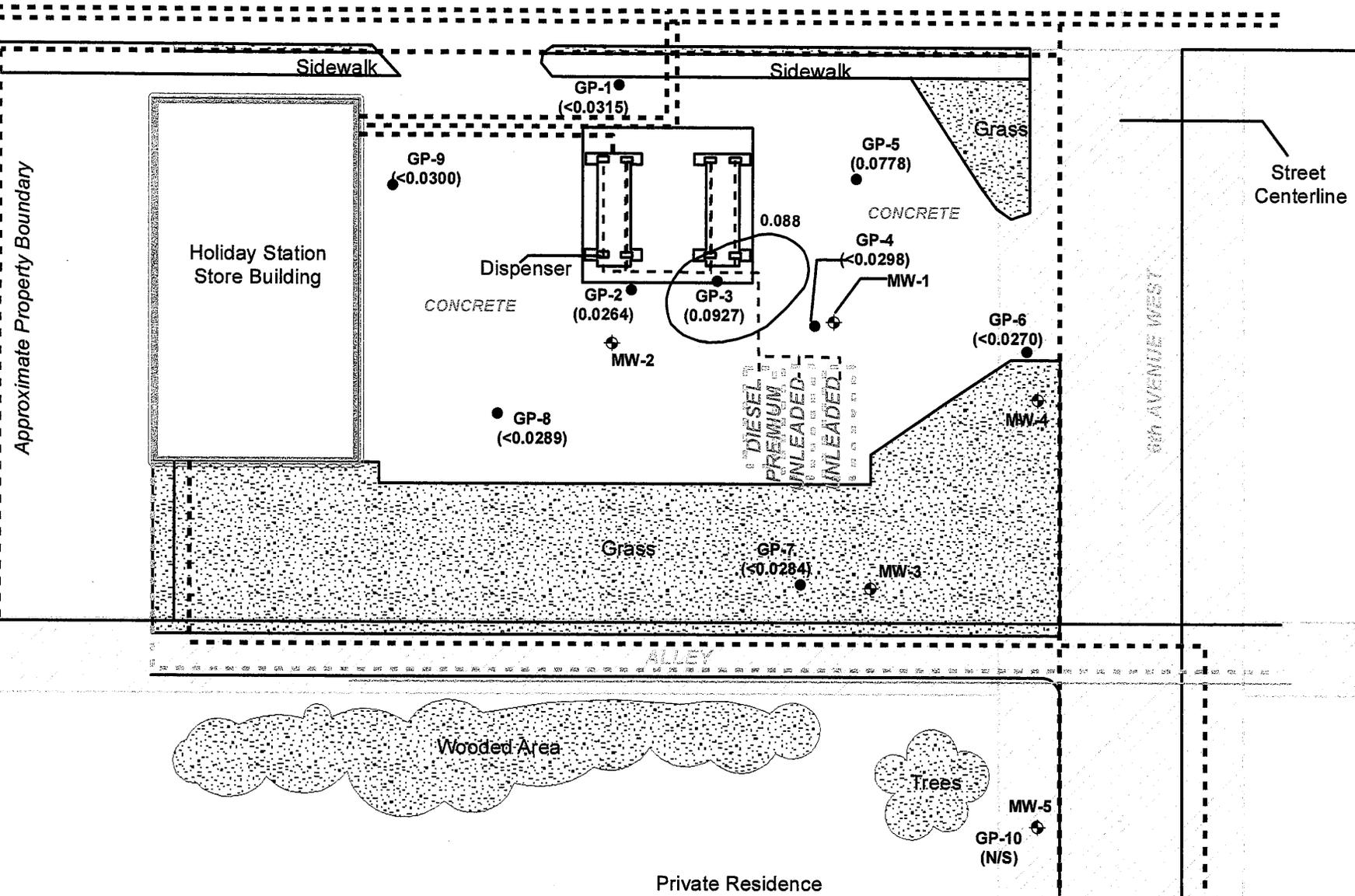
FIGURE 4c
Soil Benzene Distribution Map

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607
 DATE: 10/29/2010 CREATED BY: MLT
 FILE NAME: //GIS/2009Projects/09-0607
 HolidayStationStore#227/Figure4c



BAYFIELD STREET



Legend

- Non-Industrial Direct Contact RCL Contour (mg/kg)
- Soil Boring Locations
- ⊕ Monitoring Wells
- - - Property_Boundary
- Communication
- ■ ■ Electric
- ■ ■ Gas
- - - Tank Piping
- Overhead Communication
- Overhead Electric
- ■ ■ Sewer
- ■ ■ Water
- Tanks
- /// City Right of Way
- () - Benzo(a)pyrene Concentration in mg/kg
- (N/S) - Not Sampled

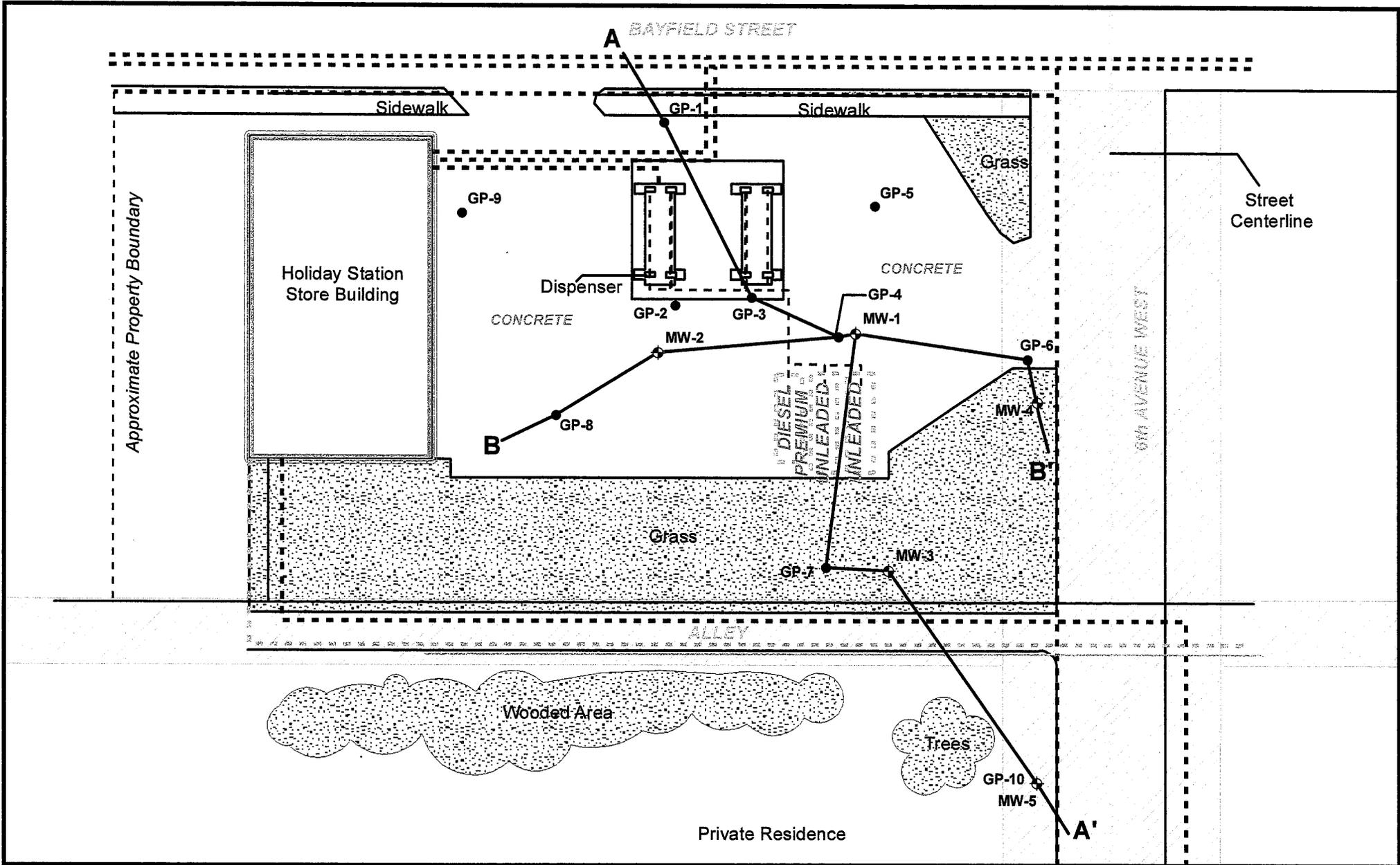


FIGURE 4d
Soil Benzo(a)pyrene Distribution Map

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607
 DATE: 10/29/2010 CREATED BY: MLT
 FILE NAME: //GIS/2009Projects/09-0607
 HolidayStationStore#227/Figure4d





Legend

- Cross Section Locations
- ⊕ Monitoring Wells
- Soil Boring Locations
- - - Property_Boundary
- Communication
- Electric
- - - Gas
- Tank Piping
- Overhead Communication
- Overhead Electric
- Sewer
- Water
- Tanks
- City Right of Way



FIGURE 5
Geologic Cross Section Plan View

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607

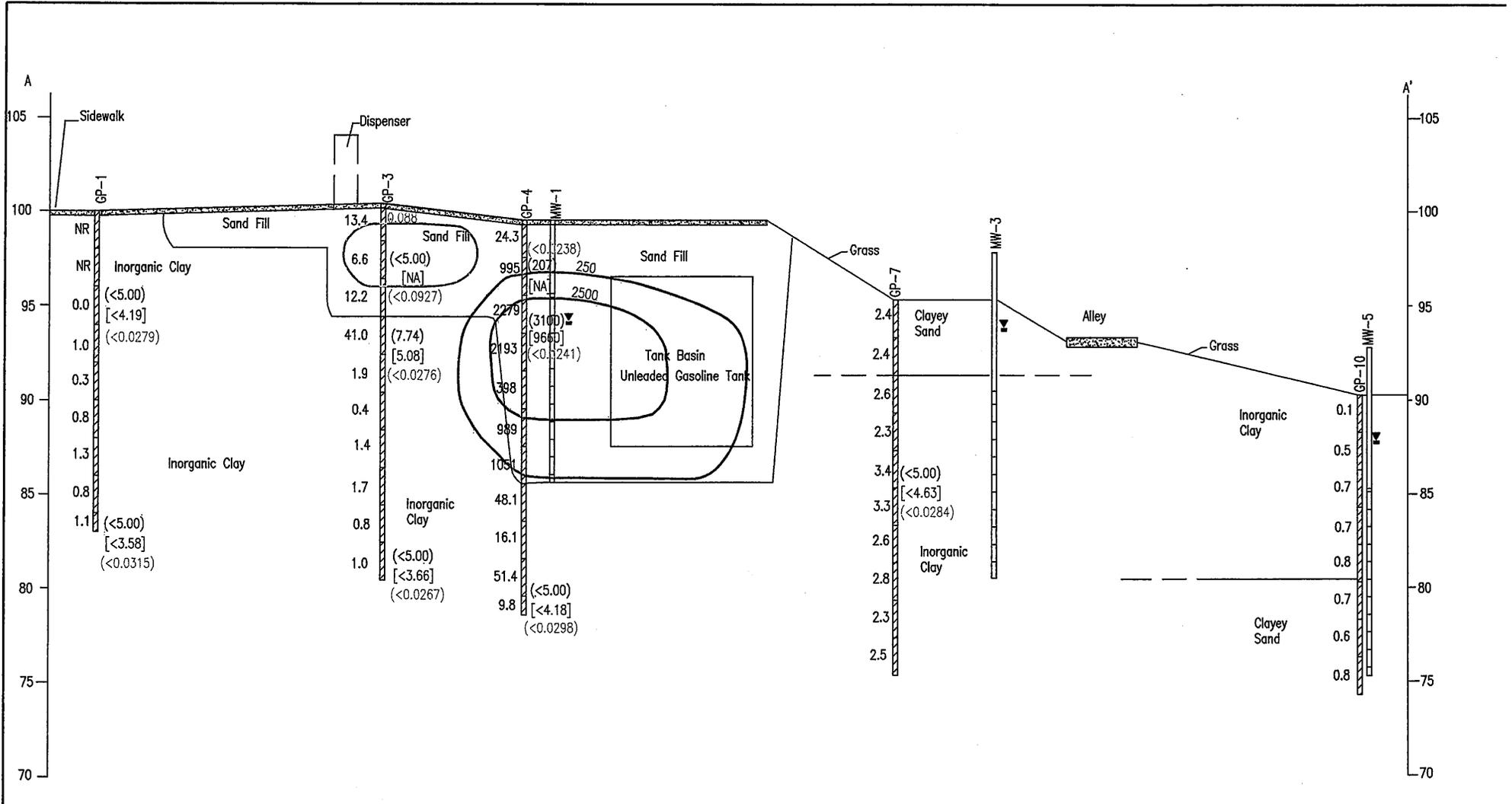
DATE: 10/28/2010

CREATED BY: MLT

FILE NAME: //GIS/2009Projects/09-0607

HolidayStationStore#227/Figure5





LEGEND:

- Water Level
- Sampling Interval
- Soil GRO Conc. (mg/kg)
- Soil DRO Conc. (mg/kg)
- Soil Benzo(a) Pyrene Conc. (mg/kg)
- Soil GRO/DRO RCL Contour
- Soil Benzo(a) Pyrene RCL Contour

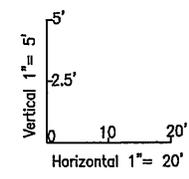


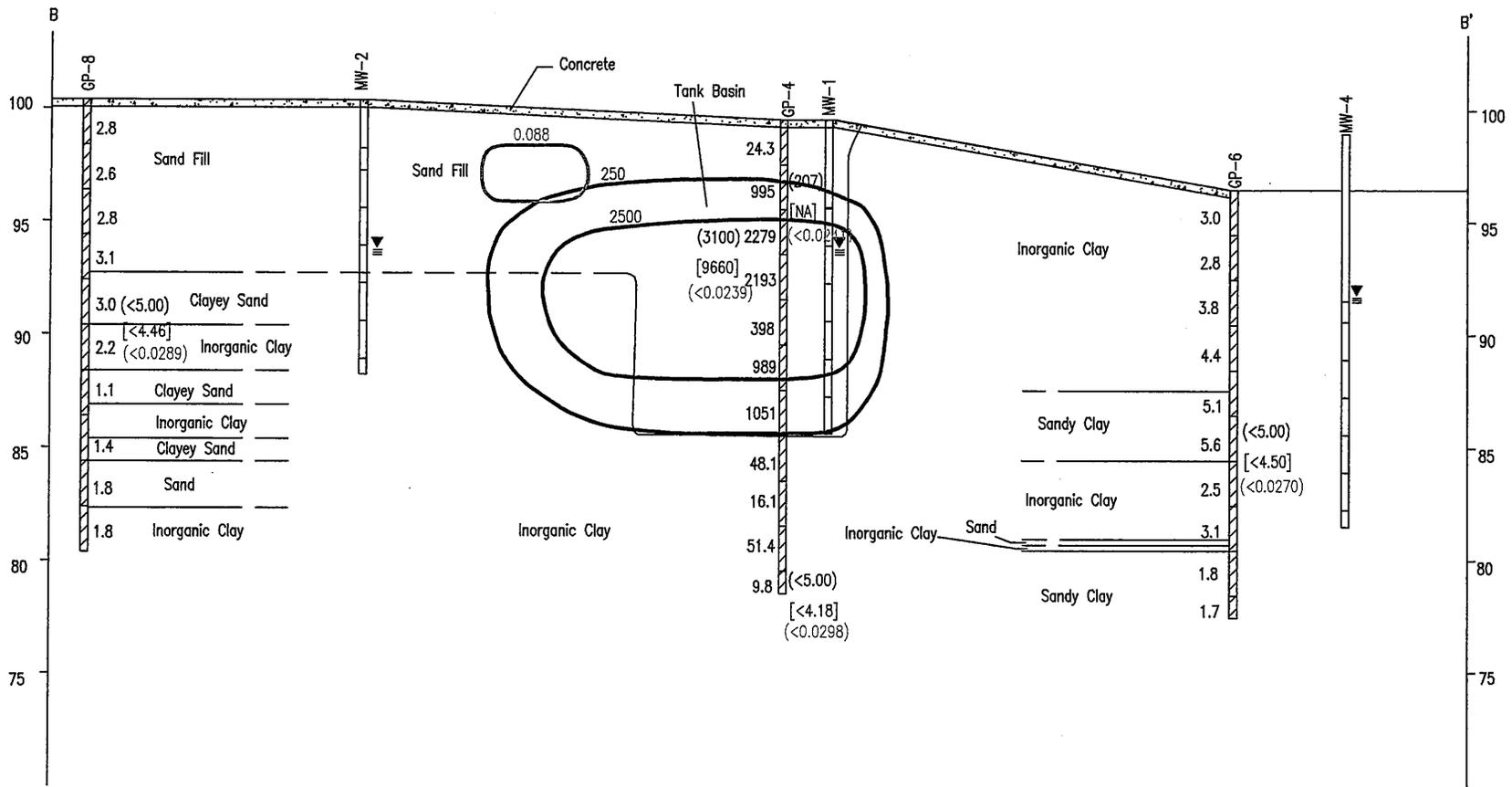
FIGURE 5a

Cross Section A - A'

Holiday Station #227
Washburn, Wisconsin

PROJECT #:	09-0607
DATE:	7/13/2010
FILE NAME:	090607/Figure4a





LEGEND:

- Water Level
- Sampling Interval
- Soil GRO Conc. (mg/kg)
- Soil DRO Conc. (mg/kg)
- Soil Benzo(a) Pyrene Conc. (mg/kg)
- Soil GRO/DRO RCL Contour
- Soil Benzo(a) Pyrene RCL Contour

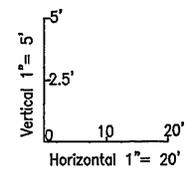


FIGURE 5b

Cross Section B-B'

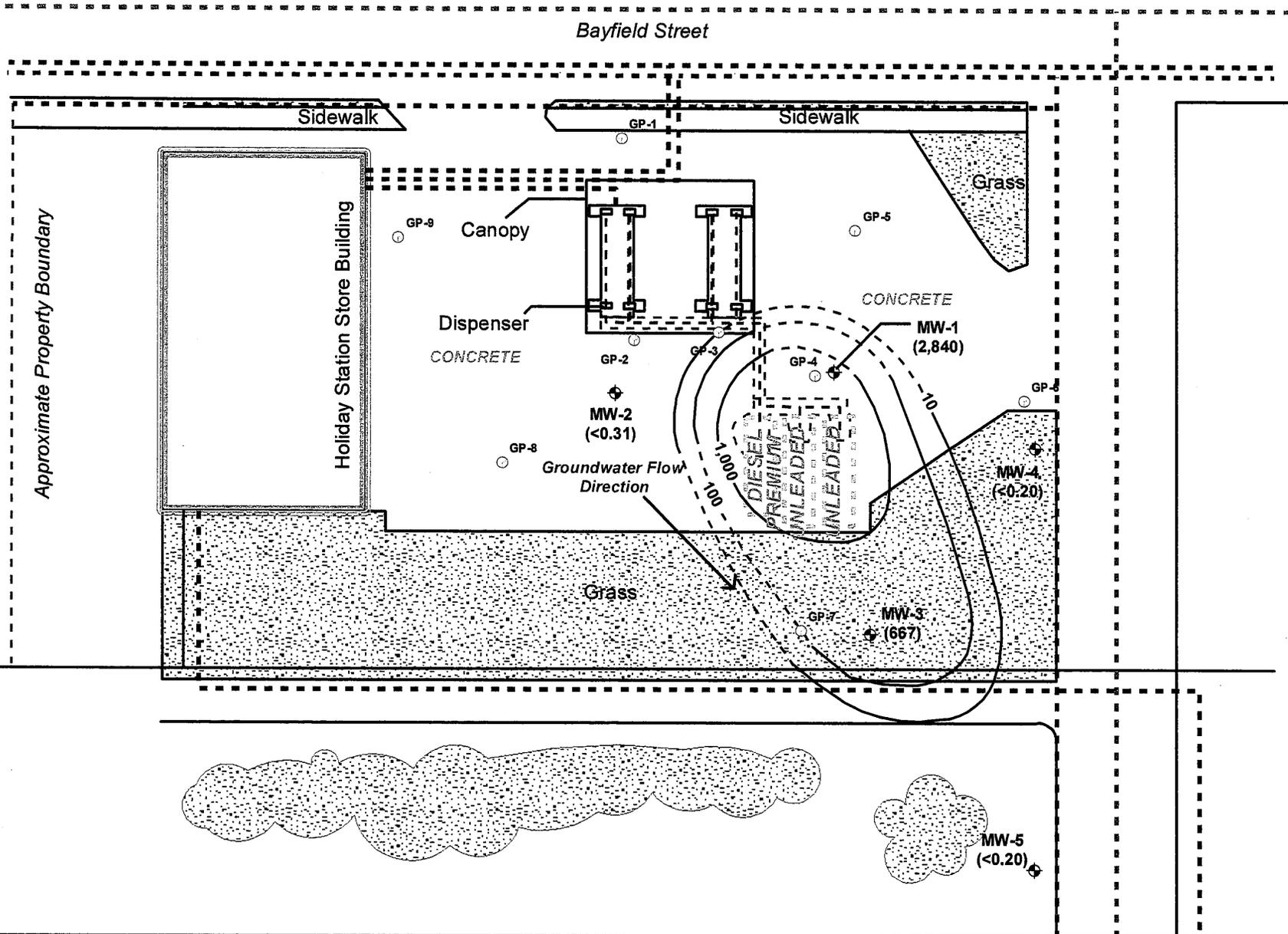
Holiday Station #227
Washburn, WI

PROJECT #: 09-0607

DATE: 7/14/10

FILE NAME:
09-0607/Figure4b





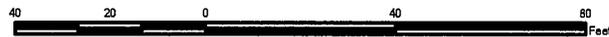
Legend

- Groundwater Benzene Contour (ug/L)
- - - Inferred Groundwater Benzene Contour (ug/L)
- ⊕ Wells
- - - Property_Boundary
- Soil Boring Locations

- - - Street Centerline
- - - Tank Piping
- - - Tanks
- - - Trench

Utilities

- - - Property_Boundary
- - - Electric
- - - Gas
- Overhead Electric
- - - Phone
- - - Sewer
- - - Water



SCALE: 1/480
1 inch = 40 feet



FIGURE 7
Groundwater Benzene Distribution Map (04/12/2010)

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607

DATE: 05/20/2010

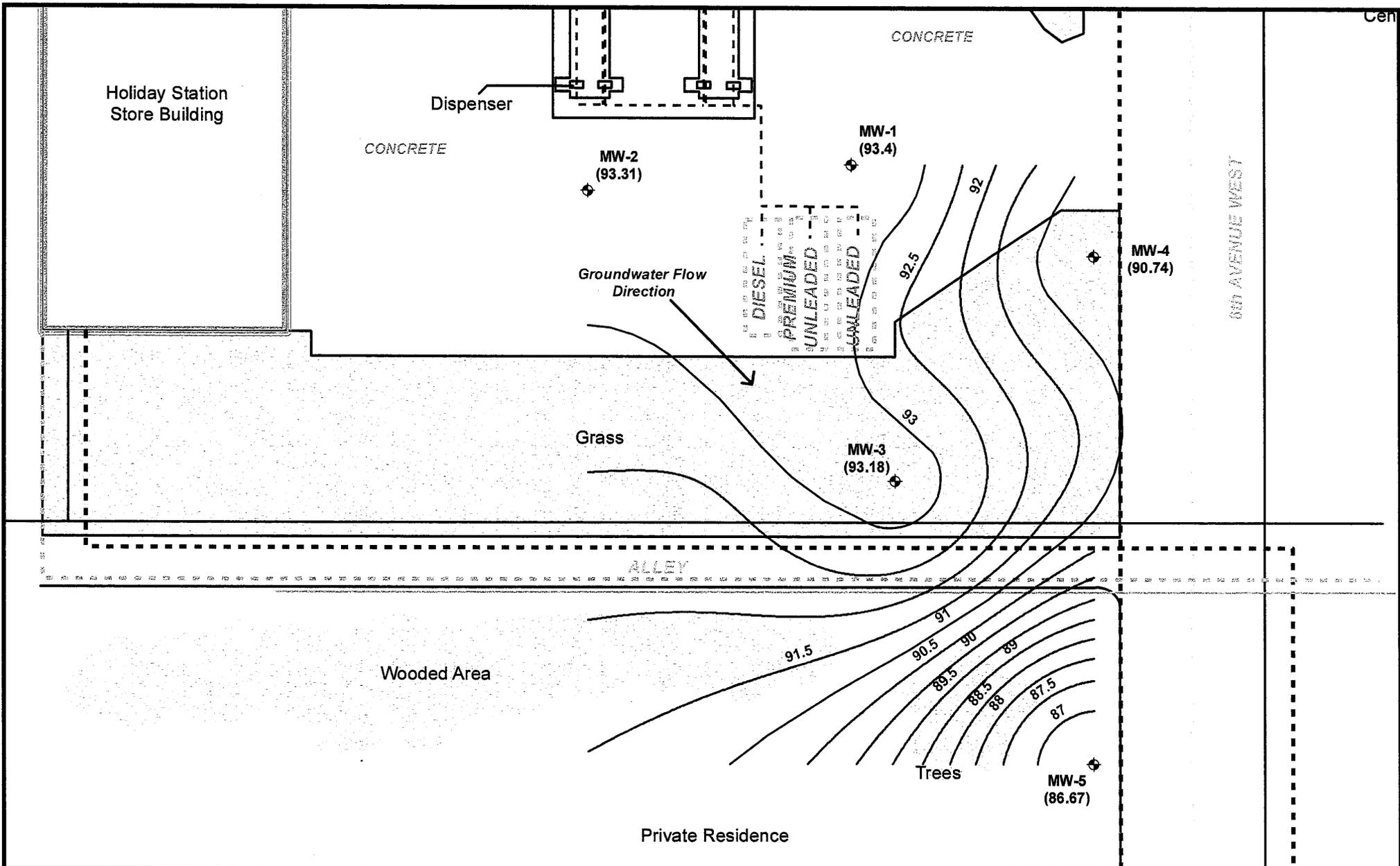
CREATED BY: MLT

FILE NAME: //GIS/2009Projects/09-0607

HolidayStationStore#227/Figure7



(667) - Groundwater Benzene Concentration (ug/L)



Legend

- Potentiometric Contour (ft)
- ⊕ Monitoring Wells
- - - Property_Boundary
- ⋯ Communication
- ⋯ Electric
- ⋯ Gas
- ⋯ Overhead Communication
- ⋯ Overhead Electric
- ⋯ Sewer
- ⋯ Water
- - - Tank Piping
- ⋯ Tanks

() - Groundwater Elevation (ft)



FIGURE 6a
Potentiometric Surface Map (05/21/2010)

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607

DATE: 10/29/2010

CREATED BY: MLT

FILE NAME: //GIS/2009Projects/09-0607

HolidayStationStore#227/Figure6a



Holiday Station Store Building

Dispenser

CONCRETE

CONCRETE

MW-2
(93.81)

MW-1
(93.91)

Groundwater Flow
Direction

DIESEL
PREMIUM
UNLEADED
UNLEADED

MW-4
(92.04)

6th AVENUE WEST

Grass

MW-3
(93.84)

93.5

93

Wooded Area

92.5

92

91.5

91

90.5

90

89.5

89

88.5

88

Trees

MW-5
(87.88)

Private Residence

Legend

- Potentiometric Contour (ft)
- ◆ Monitoring Wells
- - - Property_Boundary
- Communication
- Electric
- Gas
- Overhead Communication
- Overhead Electric
- Sewer
- Water
- Tank Piping
- Tanks

() - Groundwater Elevation (ft)



SCALE: 1/360
1 inch = 30 feet



FIGURE 6b
Potentiometric Surface Map (10/07/2010)

Holiday Station #227
Washburn, Wisconsin

PROJECT #: 09-0607

DATE: 10/29/2010

CREATED BY: MLT

FILE NAME: //GIS/2009Projects/09-0607

HolidayStationStore#227/Figure6b



Table 2A
VOC Soil Laboratory Analytical Results
Holiday StationStore #227
Washburn, Wisconsin

Sample ID [depth in parantheses]	Date Sampled	PID (ppm)	Benzene	Toluene	Ethyl-benzene	Total Xylenes	1,2,4 - TMB	1,3,5 - TMB	MTBE	Naphthalene	GRO (mg/kg)	DRO (mg/kg)
GP-1 [4-6']	10/5/2009	0.0	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0558	<5.00	<4.19
GP-1 [16-18']	10/5/2009	1.1	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0630	<5.00	<3.58
GP-2 [2-4']	10/5/2009	4.8	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0497	<5.00	NA
GP-2 [6-8']	10/5/2009	81.1	<0.016	<0.017	<0.018	0.254	0.133	0.093	<0.011	<0.0562	<5.00	176
GP-2 [16-18']	10/5/2009	2.7	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0564	<5.00	<3.90
GP-3 [2-4']	10/5/2009	6.6	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0494	<5.00	NA
GP-3 [6-8']	10/5/2009	41.0	0.094	0.096	0.113	0.405	0.234	0.177	<0.011	<0.0552	7.74	5.08
GP-3 [18-20']	10/5/2009	1.0	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0534	<5.00	<3.66
GP-4 [2-4']	10/5/2009	995	<0.016	1.22	0.254	13.28	12.6	4.37	<0.011	0.0506	207	NA
GP-4 [4-6']	10/5/2009	2279	<0.160	32.8	8.31	291	232	80.1	<0.110	18.7	3100	9660
GP-4 [20-22']	10/5/2009	9.8	<0.016	<0.017	0.115	0.387	0.193	0.106	<0.011	<0.0595	<5.00	<4.18
GP-5 [2-4']	10/5/2009	2.9	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0539	<5.00	<4.13
GP-6 [10-12']	10/6/2009	5.6	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0540	<5.00	<4.50
GP-7 [8-10']	10/6/2009	3.4	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0567	<5.00	<4.63
GP-8 [8-10']	10/6/2009	3.0	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0578	<5.00	<4.46
GP-9 [8-10']	10/6/2009	2.8	<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	<0.0601	<5.00	<3.76
MeOH Blank	10/5/2009		<0.016	<0.017	<0.018	<0.037	<0.013	<0.018	<0.011	NA	<5.00	NA
NR 720.09 RCLs			0.0055	1.5	2.9	4.1	NS	NS	NS	NS	250*	250*
NR 746.06 Table 1 (free product indicator)			8.5	38	4.6	42	83	11	NS	2.7	NS	NS
NR 746.06 Table 2 (direct contact standard)			1.1	NS	NS	NS	NS	NS	NS	NS	NS	NS

Notes:

All results reported in parts per million (ppm) unless otherwise indicated
Bold indicates contaminants which exceed NR720 Generic Soil Standards or Residual Contaminat Levels (RCLs) (NR 709.09 and 720.11) only
Bold Italics indicates contaminants which exceed NR 746.06 Table 1 Free Product Indicator

NA = not analyzed for this constituent
NS = No published standard

GRO - gasoline range organics
TMB - trimethylbenzene
MTBE = Methyl-tert-butyl-ether

*Standard based on conductivity of $< 1 \times 10^{-6}$ cm/sec

Table 2B
PAH Soil Laboratory Analytical Results
Holiday StationStore #227
Washburn, Wisconsin

Sample ID [depth in parantheses]	Date Sampled	PID (ppm)	1-Methylnaphthalene	2-Methylnaphthalene	Acenaphthene	Acenaphthylene	Anthracene	Benzo(a)anthracene	Benzo(a)pyrene	Benzo(b)fluoranthene	Benzo(ghi)perylene
GP-1 [4-6']	10/5/2009	0.0	<0.0449	<0.0498	<0.0570	<0.0801	<0.0388	<0.0498	<0.0279	<0.0255	<0.0485
GP-1 [16-18']	10/5/2009	1.1	<0.0507	<0.0562	<0.0644	<0.0904	<0.0438	<0.0562	<0.0315	<0.0288	<0.0548
GP-2 [2-4']	10/5/2009	4.8	<0.0400	<0.0443	<0.0508	<0.0713	<0.0346	<0.0443	0.0264	<0.0227	<0.0432
GP-2 [6-8']	10/5/2009	81.1	0.101	0.0796	<0.0575	<0.0807	<0.0391	<0.0501	<0.0281	<0.0257	<0.0489
GP-2 [16-18']	10/5/2009	2.7	<0.0453	<0.0502	<0.0576	<0.0809	<0.0392	<0.0502	<0.0282	<0.0257	<0.0490
GP-3 [2-4']	10/5/2009	6.6	<0.0397	<0.0440	<0.0505	<0.0709	<0.0344	0.0623	0.0927	0.0776	0.124
GP-3 [6-8']	10/5/2009	41.0	<0.0444	<0.0492	<0.0564	<0.0792	<0.0384	<0.0492	<0.0276	<0.0252	<0.0480
GP-3 [18-20']	10/5/2009	1.0	<0.0429	<0.0476	<0.0545	<0.0766	<0.0371	<0.0476	<0.0267	<0.0244	<0.0464
GP-4 [2-4']	10/5/2009	995	0.314	0.357	<0.0486	<0.0683	<0.0331	<0.0424	<0.0238	<0.0217	<0.0414
GP-4 [4-6']	10/5/2009	2279	17.8	29.0	<0.0492	<0.0691	<0.0335	<0.0429	<0.0241	<0.0220	<0.0419
GP-4 [20-22']	10/5/2009	9.8	<0.0479	<0.0530	<0.0608	<0.0854	<0.0414	<0.0530	<0.0298	<0.0272	<0.0517
GP-5 [2-4']	10/5/2009	2.9	0.0433	<0.0480	<0.0550	<0.0773	<0.0375	0.0496	0.0778	0.0661	0.102
GP-6 [10-12']	10/6/2009	5.6	<0.0434	<0.0481	<0.0552	<0.0775	<0.0376	<0.0481	<0.0270	<0.0246	<0.0469
GP-7 [8-10']	10/6/2009	3.4	<0.0456	<0.0506	<0.0580	<0.0814	<0.0395	<0.0506	<0.0284	<0.0259	<0.0493
GP-8 [8-10']	10/6/2009	3.0	<0.0465	<0.0515	<0.0590	<0.0829	<0.0402	<0.0515	<0.0289	<0.0264	<0.0503
GP-9 [8-10']	10/6/2009	2.8	<0.0483	<0.0535	<0.0614	<0.0862	<0.0418	<0.0535	<0.0300	<0.0274	<0.0522
Interim Generic RCL- direct contact*			5500	3000	4500	90	25000	0.88	0.088	0.88	9
Interim Generic RCL- groundwater			23	20	38	0.7	3000	17	48	360	6800

Notes: All results in milligrams per kilogram (mg/kg), equivalent to parts per million (ppm)
Bold indicates contaminants which exceed Interim Guidance RCL - direct contact
Bold Italics indicates contaminants which exceed Interim Guidance RCL - groundwater
RCL = residual contaminant level
NA = not analyzed for this constituent
NS = No published standard
*Non-industrial levels based on a target risk of 1×10^{-6} or a hazard quotient of 1.

Table 2B Continued
PAH Soil Laboratory Analytical Results
Holiday StationStore #227
Washburn, Wisconsin

Sample ID [depth in parantheses]	Date Sampled	PID (ppm)	Benzo(k) fluoranthene	Dibenzo (ah) anthracene	Chry-sene	Fluor-anthene	Fluorene	Indeno (1,2,3-cd) pyrene	Naphthalene	Phenan-threne	Pyrene
GP-1 [4-6']	10/5/2009	0.0	<0.0352	<0.0328	<0.0279	<0.0316	<0.0400	<0.0267	<0.0558	<0.0498	<0.0342
GP-1 [16-18']	10/5/2009	1.1	<0.0397	<0.0370	<0.0315	<0.0356	<0.0452	<0.0301	<0.0630	<0.0562	<0.0386
GP-2 [2-4']	10/5/2009	4.8	<0.0313	<0.0292	0.0261	0.042	<0.0356	<0.0238	<0.0497	<0.0443	0.0381
GP-2 [6-8']	10/5/2009	81.1	<0.0355	<0.0330	<0.0281	<0.0318	<0.0403	<0.0269	<0.0562	<0.0501	<0.0345
GP-2 [16-18']	10/5/2009	2.7	<0.0355	<0.0331	<0.0282	<0.0319	<0.0404	<0.0270	<0.0564	<0.0502	<0.0346
GP-3 [2-4']	10/5/2009	6.6	0.0416	<0.0290	0.104	0.176	<0.0354	0.0767	<0.0494	0.0595	0.156
GP-3 [6-8']	10/5/2009	41.0	<0.0348	<0.0324	<0.0276	<0.0312	<0.0396	<0.0264	<0.0552	<0.0492	<0.0339
GP-3 [18-20']	10/5/2009	1.0	<0.0336	<0.0267	<0.0313	<0.0302	<0.0383	<0.0255	<0.0534	<0.0476	<0.0327
GP-4 [2-4']	10/5/2009	995	<0.0300	<0.0279	<0.0238	<0.0269	<0.0341	<0.0228	0.0506	<0.0424	<0.0292
GP-4 [4-6']	10/5/2009	2279	<0.0304	<0.0283	<0.0241	<0.0272	<0.0346	<0.0230	18.7	<0.0429	<0.0295
GP-4 [20-22']	10/5/2009	9.8	<0.0375	<0.0349	<0.0298	<0.0336	<0.0427	<0.0285	<0.0595	<0.0530	<0.0365
GP-5 [2-4']	10/5/2009	2.9	0.0353	<0.0316	0.0753	0.139	<0.0386	0.0818	<0.0539	0.0535	0.118
GP-6 [10-12']	10/6/2009	5.6	<0.0340	<0.0317	<0.0270	<0.0305	<0.0387	<0.0258	<0.0540	<0.0481	<0.0331
GP-7 [8-10']	10/6/2009	3.4	<0.0358	<0.0333	<0.0284	<0.0321	<0.0407	<0.0271	<0.0567	<0.0506	<0.0348
GP-8 [8-10']	10/6/2009	3.0	<0.0364	<0.0339	<0.0289	<0.0327	<0.0415	<0.0276	<0.0578	<0.0515	<0.0354
GP-9 [8-10']	10/6/2009	2.8	<0.0379	<0.0352	<0.0300	<0.0339	<0.0431	<0.0287	<0.0601	<0.0535	<0.0368
Interim Generic RCL- direct contact*			8.8	0.088	88	3000	3000	0.88	100	90	2500
Interim Generic RCL- groundwater			870	38	37	500	100	680	0.4	1.8	8700

Notes:
All results in milligrams per kilogram (mg/kg), equivalent to parts per million (ppm)
Bold indicates contaminants which exceed Interim Guidance RCL - direct contact
Bold Italics indicates contaminants which exceed Interim Guidance RCL - groundwater
RCL = residual contaminant level
NA = not analyzed for this constituent
NS = No published standard
*Non-industrial levels based on a target risk of 1×10^{-6} or a hazard quotient of 1.

Table 4A
VOC Groundwater Laboratory Analytical Results
Holiday StationStore #227
Washburn, Wisconsin

Monitoring Well [Unique No.]	Date Sampled	Benzene	Toluene	Ethyl- benzene	Total Xylenes	1,2,4 - TMB	1,3,5 - TMB	MTBE	Naph- thalene	GW Elev. (ft)
MW-1 [VT904]	Top of Casing Elevation:			98.09	Screen Interval:			4 to 14 ft		
	1/13/2010	6430	10300	2680	15430	2110	573	<50	744	92.78
	4/12/2010	2840	24300	3010	21850	3480	1050	<60	1290	93.34
	7/29/2010	2260	21600	2700	21230	2560	711	<60	1030	93.52
	10/7/2010	2470	16200	3040	23050	3680	1160	<60	901	93.91
MW-2 [VT903]	Top of Casing Elevation:			99.25	Screen Interval:			2.5 to 12.5 ft		
	1/13/2010	<0.20	0.57	<0.20	0.78	0.63	<0.20	<0.50	<1.00	92.90
	4/12/2010	<0.31	0.74	<0.50	<1.39	<0.40	<0.44	<0.30	<0.80	93.11
MW-3 [VT905]	Top of Casing Elevation:			97.47	Screen Interval:			4 to 14 ft		
	1/13/2010	641	32.6	1140	1837	677	291	<0.50	178	92.65
	4/12/2010	667	25.3	1260	1490	487	313	54.6	212	93.14
	7/29/2010	597	19.7	983	1010	425	211	45.7	220	93.42
	10/7/2010	700	23.3	1190	1230	423	184	56.2	179	93.84
MW-4 [VT906]	Top of Casing Elevation:			98.55	Screen Interval:			4 to 14 ft		
	4/12/2010	<0.20	<0.40	<0.20	0.91	0.56	<0.20	<0.50	<1.00	86.00
MW-5 [VT907]	Top of Casing Elevation:			93.32	Screen Interval:			4 to 14 ft		
	4/12/2010	<0.20	<0.40	0.29	1.31	1.66	3.46	<0.50	<1.00	85.51
	7/29/2010	<0.31	<0.37	<0.50	<1.39	<0.40	<0.44	<0.30	<0.80	86.40
MW-10 (Dup.)	1/13/2010	6400	11700	2800	16460	2220	650	<50.0	625	See MW-1
MW-10 (Dup.)	4/12/2010	2670	23700	2740	20190	2890	859	<60.0	1120	See MW-1
MW-10 (Dup.)	7/29/2010	2060	23500	3720	23510	3060	856	<150	1760	See MW-1
MW-10 (Dup.)	10/7/2010	2720	17100	3090	23250	3420	1040	<60.0	832	See MW-1
Trip Blank	1/13/2010	<0.20	<0.40	<0.20	<0.60	<0.50	<0.20	<0.50	<1.00	NA
	4/12/2010	<0.20	<0.40	<0.20	<0.60	<0.20	<0.20	<0.50	<1.00	NA
	7/29/2010	<0.31	0.37	<0.50	<1.39	<0.40	<0.44	<0.30	<0.80	NA
	10/7/2010	<0.31	<0.37	<0.50	<1.39	<0.40	<0.44	<0.30	<0.80	NA
NR 140-ES		5	1000	700	10000	480 Combined		60	100	
NR 140-PAL		0.5	200	140	1,000	96 Combined		12	10	

All results reported in micrograms per liter (ug/L), equivalent to parts per billion (ppb)
Bold indicates contaminants which exceed NR140 Enforcement Standard (ES)
Italics indicates contaminants which exceed NR140 Preventative Action Limit (PAL)
NA = not analyzed for this constituent

GRO - gasoline range organics
TMB - trimethylbenzene
MTBE = Methyl-tert-butyl-ether
NS = No published standard

Table 4B
PAH Groundwater Laboratory Analytical Results
Holiday StationStore #227
Washburn, Wisconsin

Monitoring Well [screen interval]	Date Sampled	1-Methylnaphthalene	2-Methylnaphthalene	Acenaphthene	Acenaphthylene	Anthracene	Benzo(a)anthracene	Benzo(a)pyrene	Benzo(b)fluoranthene	Benzo(ghi)perylene
MW-1 [VT904]	1/13/2010	<0.800	<1.10	<1.20	<1.20	<0.900	<1.00	<0.200	<0.400	<0.600
MW-2 [VT903]	1/13/2010	<0.080	<0.110	<0.120	<0.120	<0.090	<0.100	<0.020	<0.040	<0.060
MW-3 [VT905]	1/13/2010	<0.825	<1.13	<1.24	<1.24	<0.928	<1.03	<0.206	<0.412	<0.619
MW-10 (Dup.)	1/13/2010	<0.800	<1.10	<1.20	<1.20	<0.900	<1.00	<0.200	<0.400	<0.600
NR 140-ES		NS	NS	NS	NS	3000	NS	0.2	0.2	NS
<i>NR 140-PAL</i>		NS	NS	NS	NS	600	NS	0.02	0.02	NS

Monitoring Well [screen interval]	Date Sampled	Benzo(k)fluoranthene	Dibenzo(ah)anthracene	Chry-sene	Fluoranthene	Fluorene	Indeno(1,2,3-cd)pyrene	Naphthalene	Phenanthrene	Pyrene
MW-1 [VT904]	1/13/2010	<0.700	<1.10	<0.300	<1.20	<1.20	<1.20	236	<1.10	<1.00
MW-2 [VT903]	1/13/2010	<0.070	<0.110	<0.030	<0.120	<0.120	<0.120	0.226	<0.110	<0.100
MW-3 [VT905]	1/13/2010	<0.722	<1.13	<0.309	<1.24	<1.24	<1.24	90.2	<1.13	<1.03
MW-10 (Dup.)	1/13/2010	<0.700	<1.10	<0.300	<1.20	<1.20	<1.20	251	<1.10	<1.00
NR 140-ES		NS	NS	0.2	400	400	NS	100	NS	250
<i>NR 140-PAL</i>		NS	NS	0.02	80	80	NS	10	NS	50

Notes: All results reported in micrograms per liter (ug/L), equivalent to parts per billion (ppb)
Bold indicates contaminants which exceed NR140 Enforcement Standard (ES)
Italics indicates contaminants which exceed NR140 Preventative Action Limit (PAL)
 NA = not analyzed for this constituent
 NS = No published standard

Table 3
Groundwater Elevation Data
Holiday StationStore #227
Washburn, Wisconsin

Monitoring Well [Unique No.]	Date Sampled	Depth to Water from TOC	Product Thickness	Depth to Water Below Grade	Groundwater Elevation	Water Level Above Screen (Y/N)
MW-1 [VT904] TOC Elev: 98.09	1/13/2010	5.31	--	5.56	92.78	no
	4/12/2010	4.75	--	5.00	93.34	no
	5/21/2010	4.69	--	4.94	93.40	no
	7/29/2010	4.57	--	4.82	93.52	no
	10/7/2010	4.18	--	4.43	93.91	no
MW-2 [VT903] TOC Elev: 99.25	1/13/2010	6.35	--	6.60	92.90	no
	4/12/2010	6.14	--	6.39	93.11	no
	5/21/2001	5.94	--	6.19	93.31	no
	7/29/2010	6.08	--	6.33	93.17	no
	10/7/2010	5.44	--	5.69	93.81	no
MW-3 [VT905] TOC Elev: 97.47	1/13/2010	4.82	--	2.32	92.65	yes
	4/12/2010	4.33	--	1.83	93.14	yes
	5/21/2010	4.29	--	1.79	93.18	yes
	7/29/2010	4.05	--	1.55	93.42	yes
	10/7/2010	3.63	--	1.13	93.84	yes
MW-4 [VT906] TOC Elev: 98.55	4/12/2010	12.55	--	10.05	86.00	no
	5/21/2010	7.81	--	5.31	90.74	no
	7/29/2010	7.29	--	4.79	91.26	yes
	10/7/2010	6.51	--	4.01	92.04	yes
MW-5 [VT907] TOC Elev: 93.32	4/12/2010	7.81	--	5.31	85.51	no
	5/21/2010	6.65	--	4.15	86.67	yes
	7/29/2010	6.92	--	4.42	86.40	yes
	10/7/2010	5.44	--	2.94	87.88	yes

TOC - top of casing

Elev - elevation

Screened Intervals:

	Top of Screen		Bottom of Screen
MW-1:	94.18	to	84.18
MW-2:	97.11	to	87.11
MW-3:	90.13	to	80.13
MW-4:	91.11	to	81.11
MW-5:	85.82	to	75.82

Holiday Companies

GEN. OFFICE: 4567 AMERICAN BOULEVARD WEST, BLOOMINGTON, MN 55437 / MAIL ADDRESS: P.O. BOX 1224 MINNEAPOLIS, MN 55440 / PH. 952-830-8700 / FAX 952-830-8864
CREDIT OFFICE MAIL ADDRESS: P.O. BOX 1216 MINNEAPOLIS, MN 55440 / PH. 952-921-5200 / FAX 952-921-5295

Direct Dial: 952-830-8899

Fax: 952-830-1681

Email: bruce.anthony@holidaycompanies.com

November 5, 2010

Mr. Michael Decur
Director of Public Works
City of Washburn
P.O. Box 638
Washburn, WI 54891

**RE: Notification of Case Closure Request for
Remaining Groundwater Contamination
Holiday Stationstore #227, 606 W. Bayfield St., Washburn, WI
BRRTs No. 03-04-553840**

Dear Mr. Decur:

This letter is to inform you that we are requesting case closure for the Holiday Stationstore #227 site located at 606 West Bayfield Street, Washburn, Wisconsin. Groundwater contamination that appears to have originated at 606 West Bayfield Street remains in the alley right-of-way immediately south of the site. The levels of benzene, ethylbenzene, naphthalene, and trimethylbenzenes are above the enforcement standard found in Wis. Admin. Code, Chapter NR 140 (Wisconsin Administrative Code). However, the environmental consultants who have investigated this contamination have informed me that this groundwater contaminant plume is stable or receding and will naturally degrade over time. I believe that allowing natural attenuation to complete the cleanup at this site will meet the requirements for case closure found in Wis. Admin. Code, Chapters NR 726 and NR 746, and I will be requesting that the Department of Commerce accept natural attenuation as the final remedy for this site and grant case closure. Closure means that the Department will not be requiring any further investigation or cleanup action to be taken, other than reliance on natural attenuation.

Since the source of groundwater contamination is not on your property, neither you nor any subsequent owner will be held responsible for investigation or cleanup, as long as you and any subsequent owners comply with the requirements of Wis. Stat. § 292.13, including allowing access to your property for environmental investigation or cleanup if access is required. To obtain a copy of the Department of Natural Resources' publication #RR-589, *Fact Sheet 10: Guidance for Dealing with Properties Affected by Off-Site Contamination*, you may visit <http://www.dnr.wi.gov/org/aw/rr/archives/pubs/RR589.pdf>.

Mr. Michael Decur
November 5, 2010
Page Two

The Department of Commerce will not review my case closure request for at least 30 days after the date of this letter. As an affected property owner, you have the right to contact the Department to provide any technical information that you may have that indicates that closure should not be granted for this site. The information should be sent to: David Blair, Wisconsin Department of Commerce, P.O. Box 8044, Madison, WI 53708-8044.

If this case is closed, all properties within the site boundaries where groundwater contamination exceeds Chapter NR 140 enforcement standards will be listed on the Department of Natural Resources' geographic information system (GIS) Registry of Closed Remediation Sites. The information on the GIS Registry includes maps showing the location of properties in Wisconsin where soil contamination above Chapter NR 140 enforcement standards was found at the time that the case was closed. This GIS Registry will be available to the general public on the Department of Natural Resources' internet web site.

Once the Department makes a decision on my closure request, it will be documented in a letter. If the Department grants closure, you may obtain a copy of this letter by requesting a copy from me, by writing to the agency address given above, or by accessing the DNR GIS Registry of Closed Remediation Sites on the internet at www.dnr.state.wi.us/org/at/et/geo/gwur. A copy of the closure letter is included as part of the site file on the GIS Registry of Closed Remediation Sites.

If you need more information, you may contact me directly at 952-830-8899 or you may contact David Blair at 608-261-2515.

Sincerely,

HOLIDAY COMPANIES



Bruce K. Anthony
Environmental Director

BKA\nah

Cc: David Blair